

Chairman
ROBERT OLIVER

City Attorney
NICK SAMPINOS

Community Director
NICK TATTON

City Recorder
SHERRIE GORDON



Commission

JUDY BEACCO
NANCY BENTLEY
DALE EVANS
ROBERT OLIVER
RICHARD ROOT
FRANKIE SACCO
JAN YOUNG
ERROLL HOLT, ALT.
TODD THORNE, ALT.

PRICE CITY PLANNING COMMISSION

phone: (435) 636-3184 · Fax: (435) 637-2905

185 E. Main - P.O. Box 893

Price, Utah 84501

PLANNING AND ZONING AGENDA

05/23/2016

THE PRICE CITY PLANNING AND ZONING COMMISSION WILL HOLD THEIR REGULARLY SCHEDULED MEETING ON THE ABOVE DATE AT 6:00 PM IN THE PRICE CITY HALL COUNCIL CHAMBERS (ROOM 104). THE PLANNING AND ZONING COMMISSION CHAIRMAN RESERVES THE RIGHT TO MODIFY THE SEQUENCE OF AGENDA ITEMS IN ORDER TO FACILITATE SPECIAL NEEDS.

1. PLEDGE OF ALLEGIANCE
2. ROLL CALL
3. MINUTES OF April 11, 2016 -
4. PUBLIC COMMENT ON AGENDA ITEMS
5. CONDITIONAL USE PERMIT
 - a. ASSISTED LIVING FACILITY - Consideration and possible recommendation of final approval for development of an assisted living facility at 75 E 500 N within the Public Facilities (PF) zoning district, Beehive Homes, Richard Nuffer.
 - b. SITE PLAN AMENDMENT - Consideration and possible approval of a site plan amendment for expansion of the bar/lounge at the Ramada Inn, 838 Westwood Blvd., Jim Patel.
 - c. PERSONAL STORAGE AND FUTURE OFFICE - Consideration and possible approval of a conditional use permit for current personal storage and possible future professional office space at 30 S 100 W within the Commercial 1 (C-1) zoning district, TH Poloni.
6. UNFINISHED BUSINESS

Note: In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should contact, City Recorder, Sherrie Gordon at 185 E. Main, Price, Utah - Telephone 636-3183 at least 24 hours prior to the meeting. This meeting may be held electronically via telephone to permit one or more of the council members to participate.

**PRICE CITY PLANNING AND ZONING MEETING
MINUTES OF April 11, 2016**

PRESENT:

Commissioners:

Nancy Bentley
Jan Young
Dale Evans
Frankie Sacco

Nick Tatton, Community Director
Sherrie Gordon, City Recorder

EXCUSED: Commissioner Oliver, Commissioner Thorne, Commissioner Holt, Commissioner Beacco, and Commissioner Root

OTHERS PRESENT: Wayne Clausing, Gust Kalatzes and Dan Mower

1. In the absence of Chairman Oliver, Vice Chair Sacco called the meeting to order at 6:00 P.M. She led the Pledge of Allegiance.
2. Roll was called with the above Commissioners and staff present.
3. MINUTES OF January 25, 2016 -
MOTION. Commissioner Bentley moved to approve the minutes of January 11, 2016 as presented. Motion seconded by Commissioner Young and carried.
4. PUBLIC COMMENT ON AGENDA ITEMS – No public comment was received on any of the items.
5. GENERAL BUSINESS –
 - a. PUBLIC HEARING - Public hearing to receive input on a minor 2 lot planned land subdivision at 205, 207 E 100 N within the Commercial 1 Zoning District.

MOTION. Commissioner Evans moved to open the public hearing at 6:01 p.m. Motion seconded by Commissioner Bentley and carried.

No public comment was presented or received.

MOTION. Finding there were no comments from the public, Commissioner Evans moved to close the public hearing at 6:02 p.m. Motion seconded by Commissioner Bentley and carried.

6. CONDITIONAL USE PERMIT –
 - a. MINOR 2 LOT PLANNED UNIT LAND SUBDIVISION - Consideration and possible approval of a 2 lot planned land subdivision at 205, 207 E 100 N within the Commercial 1 Zoning District.

Mark Morley submitted a Conditional Use Permit application. Nick Tatton advised the Commission that Mr. Morley is developing an office building that will be sold as condominium suites.

MOTION.

Commissioner Evans moved to recommend approval of the minor 2 lot subdivision for the office condominium as presented. Motion seconded by Commissioner Young and carried.

- b. SITE PLAN AMENDMENT - Consideration and possible approval of a site plan amendment to add a 2 lot minor planned subdivision at 205, 207 E 100 N within the Commercial 1 zoning district. (Mark Morley)

An application and information for amendment of an existing Conditional Use Permit (CUP) was submitted by Mark Morley. The existing CUP is for Bedtime Stories Daycare located at the corner of 100 N and 200 E within the Commercial 1 (C-1) zoning district and was issued on September 28, 2015. The original CUP was approved to include a condition that any additional buildings on the site require consideration, review and amendment of the site plan. The site plan ‘reserved’ space for a small office building and that building is now ready for development, hence, the CUP amendment.

Address assignments are: front office – 205 E 100 N, rear office 207 E 100 N.

The Planning Commission discussed the Conditional Use Permit Amendment. Vice Chair Sacco read aloud the following conditions of approval and led a discussion:

- Apply for and receive approval by Price City of a planned development land subdivision, per Section(s) 11.3.11.3 and 11.3.11.1 of the Code finding that subdividing the office space(s) from the main lot as a planned development is necessary to accommodate perpetual use of the properties.
- Provide signage to indicate “Enter Only” on 100 North ingress/egress to parking lot and “Exit Only” on 200 East ingress/egress to parking lot finding that controlled parking lot and traffic circulation mitigates the potential for vehicle and pedestrian accidents in the vicinity of the development.
- Install a minimum of 5% landscaping as required in the Code on and around the development to include the parking strips in the public-right-of-way finding that landscaping increases the community aesthetic and increases potential for commercial activity and is consistent with the Goals in the Price City General Plan. All landscaping to be water wise.
- Parking strip landscaping treatments to be consistent with height, tree type, etc. within the Price City policies/Codes.
- Completion of a public infrastructure development agreement, if required, with the City Public Works Department finding that agreed to and financially secured public infrastructure protects the long term financial interest of the community.
- Each office to have separate utility connections. Water and sewer connections to be made to 200 East and coordinated with the City Water and Sewer Department. Electric connections to be placed and coordinated with the City Electric Department.
- Complete and record in the permanent land records, with the Carbon County Recorder, a deed restriction and covenant that indicates the parking lot area is a common area and cannot be restricted from use by any adjoining property owner or business owner finding that documented and recorded restrictions reduce the potential for misunderstandings regarding land use requirements in the future. Off street parking to have a minimum of 5 parking spaces for the office buildings based on Section 6.4.2 of the Code. (1,868 sq. ft. x .7 usable sq ft / 300 feet per space = 4.3, rounded up to 5).
- Install outside parking lot and area lighting finding that properly lit parking and outdoor areas protect the health safety and welfare of the community. Lighting to be high efficiency LED fixtures. Lighting to be shielded, angled, on times such that it does not transfer to adjoining residential properties.
- Installation of business signage only upon review and approval City Planning Department finding that properly reviewed and approved signage promotes consistency in signage and increased commercial activity in the community.
- Maintain a garbage dumpster on the North side of the daycare building as presented to planning staff in a size and service frequency to serve the daycare building and both office buildings finding that properly placed, sized and serviced garbage facilities prevent the scatter of garbage, rubbish and debris in the community.
- No conditions as the property or structures that violation the Price City Property Maintenance Code finding that properly maintained structures and property protect area property values.

ACCPETANCE: Since Mr. Morley was not in attendance at the meeting he will be advised of the conditions of approval and asked to acknowledge that he is aware of the conditions of approval, understand the conditions of approval and intend to comply with the conditions of approval. In the event Mr. Morley does not provide acceptance of the conditions of approval the matter may be docketed on a future agenda for further review and consideration by the Planning Commission.

MOTION. Commissioner Young moved to recommend the Price City Council provide final approval for a Conditional Use Permit (CUP) amendment, to include all conditions listed above, to locate approximately 1,308 square feet of office space to the site at 100 N 200 E as previously considered under the Bedtime Stories CUP on September 28, 2015, within the Commercial 1 (C-1) zoning district, based on the conditional land use of Commercial Development within the C-1 zoning district listed in Section 11.3.11.5.1 of the Price City Land Use Management and Development Code (Code) and the permitted land use of Professional Offices listed in Section 11.3.5.1 of the (Code), the general evaluation criteria in Section 11.1 of the Code, the specific land use evaluation criteria/land use checklist in Section 11.1.m of the Code, and subject to the above conditions. Motion seconded by Commissioner Evans and carried.

c. NEW AUTOMOBILE DEALERSHIP - Consideration and possible approval of a Conditional Use Permit (CUP) for a new automobile dealership located at 811 Westwood Blvd., Price Ford, Gust Kalatzes.

An application was submitted by Gust Kalatzes for final approval of a Conditional Use Permit (CUP) for a new automobile dealership. The address assigned for the new dealership is 811 Westwood Blvd. and is located within the

Commercial 1 (C-1) zoning district. The general land use evaluation criteria is in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist is in Section 11.1.m of the Code. The land use(s) are: (1) auto parts, non-mechanical repair location – a permitted use, Section 11.3.4.1.5 of the Code; (2) motor vehicle dealers – a permitted use, Section 11.3.4.35 of the Code; (3) tires, batteries and accessory – a permitted use, Section 11.3.4.41 of the Code; and, (4) automobile repair services – a conditional use, Section 11.3.5.6. The land development is a conditional use based on Section 11.3.11.5.1, various commercial.

The Planning Commission discussed the Conditional Use Permit and reviewed the site plan with the applicant to a significant level of detail to ensure the understanding of the site plan elements. Upon completion of the review and discussion Vice Chair Sacco read aloud the following conditions of approval and led further discussion regarding the condition of approval with the applicant:

- Develop site consistent with all plans and documents submitted to Price City, communications and direction from Price City officials and staff and pre-application meetings finding that development consistent with reviewed, submitted and approved plans mitigates potential development problems and reduces the occurrence of misunderstandings.
 - Install exterior building, parking lot and area lighting as high efficiency LED fixtures. Public street lighting installations to be installed to minimum Price City standard and be LED fixture with photo cell.
 - Water utility connection to site to be coordinated with the Price City Water Department for sizing, locations, metering. Service line to building connection to 10" line. Fire line, as required, to building placed as directed by the Price City Fire Chief. Landscape irrigation water service to be installed with backflow prevention per Price City minimum standard installation.
 - Sewer utility connection to site to be coordinated with the Price City Sewer Department for sizing and location(s). Connection to 800 West and/or Westwood Blvd. Completion and submission of a PRWID Waste Water Survey. Installation of sampling manhole(s) and grease trap required per PRWID specifications.
 - Electric utility connection to be coordinated with the Price City Electric Department. Service to come from the west near the Tesla Supercharger station. Install ground sleeve at roadway. Provide electrical load sheet to Price City Electric Department.
 - Landscaping to be installed as indicated and exceeding the 5% Price City minimum landscaping, and as indicated on plans at 18.9%. All landscaping installed to be water wise. Landscape irrigation water service to be installed with backflow prevention per Price City minimum standard installation. Parking strip landscaping treatments to be consistent with height, tree type, etc. within the Price City policies and Codes.
 - Parking stalls to meet minimum Code requirements for quantity and stall size. Minimum of 204 parking stalls required, as indicated on plans.
 - Other development items: Curb, gutter and sidewalk installations as indicated and under the direction of the Price City Engineer. Asphalt restoration and paint striping of Westwood Blvd. under the direction of the Price City Engineer. UDOT approval and UDOT requirements complied with for crosswalk at eastbound SR-6 ramp.
- Final business signage to be submitted and reviewed by the Price City Planning Department prior to installation finding that properly reviewed and approved business signage promotes increased commercial activity, community signage consistency and is consistent with the Price City General Plan.
- Completion of a public infrastructure development agreement with the Price City Public Works Department and submission of the required financial surety finding that properly agreed and financially secured public infrastructure development promotes high-quality long-term infrastructure.
- Completion of a private utility agreement with the Price City Public Works Department finding that properly agreed to and maintained private water systems that connect to the public system protect the health, safety and welfare of the community.
- Procurement of a Price City Building Permit and construction of the structures under the auspices of said permit finding that properly reviewed and inspected construction protects the health, safety and welfare of the community.
- Provision to Price City of copies of all State or Federal permits required, if any, for development and construction of the project finding that properly permitted projects prevent misunderstandings and development delays.
- Development consistent with the storm water management plan submitted and compliance with all storm water management direction received from the Price City Engineer finding that properly controlled storm water mitigates flooding and property damage. Storm water management plan to address a 100 year storm event. Provide maintenance to adjacent drainage to prevent flooding, erosion or blockages. Submission of an elevation certificate to the Price City engineer indicating the development is above the flood zone.
- Development consistent with the geotechnical plan submitted and compliance with all geotechnical development direction received from the Price City Engineer finding that development consistent with approved geotechnical plans mitigates potential development failures.

- Obtain, submit and record any encroachments, easement or rights-of-way necessary to complete the development consistent with the submitted plans finding that properly planned and documented encroachments, easement or rights-of-way mitigate future access misunderstandings.
- Obtain UDOT encroachment permit to conduct work in the UDOT right of way and UDOT approval of infrastructure installed in the UDOT right of way. Relocate and install UDOT right of way fence along east boundary as required, if required.
- Future travel/visitor center pre-approved at location indicated on site plan finding that the overall site is conducive to and convenient for the location of a travel/visitor center. Utility service line stubs to be made such that future street openings may not be required. Price City building permit required at the time of construction. Use or development other than a travel/visitor center not pre-approved.
- No conditions as the property or structures that violation the Price City Property Maintenance Code finding that properly maintained structures and property protect area property values.

ACCPETANCE: The applicant acknowledged that he is aware of the conditions of approval, understand the conditions of approval and intend to comply with the conditions of approval.

MOTION. Commissioner Bentley moved to recommend the Price City Council provide final approval for a Conditional Use Permit (CUP) to locate an automobile dealership and related land uses at 811 Westwood Blvd. within the Commercial 1 (C-1) zoning district, including the conditions of approval listed above, and based on the land use(s) of (1) auto parts, non-mechanical repair location – a permitted use, Section 11.3.4.1.5 of the Price City Land Use Management and Development Code (Code); (2) motor vehicle dealers – a permitted use, Section 11.3.4.35 of the Code; (3) tires, batteries and accessory – a permitted use, Section 11.3.4.41 of the Code; and, (4) automobile repair services – a conditional use, Section 11.3.5.6., the conditional Commercial Development within the C-1 zoning district listed in Section 11.3.11.5.1 of the Code, the general evaluation criteria in Section 11.1 of the Code, the specific land use evaluation criteria/land use checklist in Section 11.1.m of the Code. Motion seconded by Commissioner Young and carried.

7. UNFINISHED BUSINESS – No unfinished business discussed.

Meeting adjourned at 6:29 p.m. pursuant to a motion by Commissioner Young. Motion seconded by Commissioner Evans and carried.

APPROVED: _____
Vice Chair, Frankie Sacco

ATTEST: _____
City Recorder, Sherrie Gordon


Mayor
JOE L PICCOLO
City Attorney
NICK SAMPINOS
Community Director
NICK TATTON
City Recorder
SHERRIE GORDON
Public Works Director
MILES NELSON



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Price City Planning & Zoning Commission

Planning & Zoning Commissioners
ROBERT OLIVER, CHAIR
FRANKIE SACCO, VICE CHAIR
JUDY BEACCO
DALE EVANS
NANCY BENTLEY
RICHARD ROOT
JAN YOUNG
ALTERNATE: TODD THORNE
ALTERNATE: ERROLL HOLT

DATE: APRIL 29TH, 2016
TO: PRICE CITY PLANNING & ZONING COMMISSION
FROM: NICK TATTON
PRICE CITY 
RE: ASSISTED LIVING CENTER

Please find attached a Conditional Use Permit (CUP) application submitted by Richard Nuffer for locating an assisted care living center business at 75 E 500 N, called Beehive Homes of Price – Memory Care Center, within the Public Facilities (PF) zoning district. The PF zone accommodates public and quazi public as well as private land uses and, per Section 14.2.4 of the Price City Land Use Management and Development Code (Code) utilizes the ‘most similar’ land use codes for permitting purposes. In this case it is the Commercial 1 (C-1) zoning district requirements. The land use evaluation criteria for the PF zone district are listed in the in Section 14.1, paragraphs 1 thru 7 of the Code, the general land use evaluation criteria for the C-1 zone district are in Section 11.1 of the Code and the specific land use evaluation criteria/land use checklist for the C-1 zone district are in Section 11.1.m of the Code. The actual land use, Assisted Living Facility, is conditional and listed in Section 11.3.2.1.5.7 of the Code.

It is the recommendation of staff to thoroughly discuss the land use and development plan with the applicant and provide a recommendation of final approval to the Price City Council.

RECOMMENDED MOTION(S):

1. Move to provide recommend the Price City Council provide final approval for an Assisted Living Facility to be located at 75 E 500 N within the Public Facilities (PF) zoning district finding that the PF zone accommodates public and quazi public as well as private land uses and, per Section 14.2.4 of the Price City Land Use Management and Development Code (Code), utilizes the ‘most similar’ land use codes for permitting purposes, basing the final approval on the land use evaluation criteria for the PF zone district listed in the in Section 14.1, paragraphs 1 thru 7 of the Code, the general land use evaluation criteria for the C-1 zone district in Section 11.1 of the Code and the specific land use evaluation criteria/land use checklist for the C-1 zone district in Section 11.1.m of the Code, and the conditional land use, Assisted Living Facility, listed in Section 11.3.2.1.5.7 of the Code, and subject to the following conditions of concept approval:
 - a. Development of location to be consistent with the final site plan submitted to Price City and with all direction received from Price City professional staff as it

relates to development and the site elements indicated below finding that agreed upon site development mitigates the potential for misunderstandings in the development process.

- i. All on site exterior lighting to be high efficiency LED fixtures. All exterior lighting to be angled away from neighboring residential land uses and/or placed on timers and/or shielded from light transference to neighboring properties.
 - ii. Perimeter resident safety fence to be as indicted in location and design style. Specific approval for the six foot (6') height authorized finding that resident safety is improved and vehicle and pedestrian traffic is not negatively impacted by the fence. Fence must remain non-sight obscuring within a forty-foot (40') safety triangle at the intersection at all times.
 - iii. Utility connections to the site as indicated and as directed by the Price City Water, Sewer and Electric Departments in terms of size and location.
 - iv. Monument sign installed as indicated on site plan authorized. No other signage authorized without review and approval by the Price City Planning Department.
 - v. Right turn only upon exit from off street parking with signage.
 - vi. Garbage dumpster to be located and identified on final site plan in screened enclosure with gates.
 - vii. Landscaping installed as indicated on site plans meeting the minimum five percent (5%) requirement. All landscaping to be water wise.
 - viii. Installation of all required public infrastructure including, but not limited to, curb, gutter, sidewalk, street lighting, electrical transformers, street signage, street striping, public fire hydrants in accordance with submitted and accepted plans and as directed by the Price City Public Works Department.
 1. Completion of a public infrastructure development agreement, if and as required, with the Price City Public Works Department and submission of a financial surety guaranteeing the installation of public infrastructure.
 2. Completion of a private utility agreement, if and as required, with the Price City Public Works Department, regarding the installation of internal water systems and connection to the public water system.
 - ix. Development consistent with storm water management and geotechnical studies and information submitted to Price City and any direction from the Price City Engineer finding that development consistent with approved plans mitigates development confusion and ensures quality development consistent with the Price City General Plan.
- b. Submission of building plans to the Price City building department for review and approval finding that properly submitted, reviewed and approved and inspected building construction protects the health, safety and welfare of the community.
 - i. All construction to be completed under the auspices of a Price City building permit.
 - c. Application and receipt of Price City business license prior to opening and operation at site.
 - d. Site plan final approval authorized for "Phase 2" of the project including: (1) Option 1: second building; or (2) Option 2: up to nine (9) individual residential cottages.

- i. Utility connection plan approval and building plan approval and issuance of building permit by Price City for Phase 2 subject to additional review and approval.
 - ii. Additional site plan elements required, including but not limited to, additional fencing, retaining walls, storm water management, off street parking, installation of additional public infrastructure, submission of additional or extended public infrastructure development agreement and surety
 - e. No conditions at the property or structures, including hillside locations, that violate the Price City Property Maintenance Code finding that properly maintained property and structures mitigate deterioration of community property values and is consistent with the Price City General Plan.
2. Move to acknowledge that the applicant, applicants agents and representatives, are aware of the conditions of approval, understand the conditions of approval and intend to comply with the conditions of approval.

Fee: _____



CONDITIONAL USE PERMIT APPLICATION

Send all completed and properly signed forms (including attachments as necessary) along with applicable fees to: Price City Community Development Department, P.O. Box 893, 185 East Main, Price, UT 84501. For questions call (435) 636-3184.

Please check one.

☐ **New Business** (Complete boxes 1 through 13 on page 1, and all subsequent pages)

☒ **New Construction/Development** (Check all applicable boxes below and complete entire application)

Plan Phase:

- ☐ Concept
☐ Preliminary
☐ Final

PLEASE TYPE OR PRINT LEGIBLY.

Applicant Information			
1. Applicant's Name: BEEHIVE HOMES (RICHARD NOFFER)		2. Title: PRESIDENT	
3. Applicant's Mailing Address: PO 129		4. Suite/Apt. No.:	
5. City: ELMO	6. State: UT	7. Zip Code: 84521	
8. County: EMERY		9. Telephone: (801) 893-2503	
Project Information			
10. Name of Project (Business): BEEHIVE HOMES OF PRICE - MEMORY CARE CENTER			
11. Address of Proposed Project: 75 E. 500 N. PRICE UT 84501			
12. Zone District (see attached zoning map):			
Nature of Proposed Work (Check all applicable items in boxes 13 through 16)			
13. <input type="checkbox"/> Sign <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential	14. <input type="checkbox"/> Zone Change <input type="checkbox"/> Storm Drainage <input type="checkbox"/> Street Work <input type="checkbox"/> Road Dedication <input checked="" type="checkbox"/> Water <input checked="" type="checkbox"/> Sewer	15. <input checked="" type="checkbox"/> Excavation <input type="checkbox"/> Fill Work <input checked="" type="checkbox"/> Building <input type="checkbox"/> Subdivision <input type="checkbox"/> Apartments <input checked="" type="checkbox"/> Electrical	16. <input type="checkbox"/> Industrial <input type="checkbox"/> Annexation <input type="checkbox"/> Flood Plain <input type="checkbox"/> Recreation <input type="checkbox"/> Street Opening <input type="checkbox"/> Demolition
17. Quarter Section(s):	18. Section(s):	19. Township(s):	20. Range(s) & Base:
21. Estimated Cost of Project: a) Site Work \$ 100,000 b) Buildings \$1,400,000 c) Other \$ Total \$1,500,000		22. Electrical Load Sheet: (Attach preliminary and final to application)	
		23. Project Plans: <input type="checkbox"/> Plans Included <input type="checkbox"/> Attachments (Number) _____	

24. Brief Description of Project:

ASSISTED LIVING FACILITY WITH MEMORY CARE

25. Justification (Explain why this project is needed):

NO MEMORY CARE FACILITIES IN THIS OR
NEIGHBORING COUNTIES.

26. Names and Addresses of Adjoining Property Owners, Lessees, Etc.:

NAME	ADDRESS (City, ST, Zip)	TELEPHONE
1.		()
2.		()
3.		()
27. Estimated Starting Date: / /	28. Estimated Completion Date: / /	29. Has P.R.W.I.D. Sewer Survey Been Submitted? <input type="checkbox"/> Yes <input type="checkbox"/> No

Signature of Property Owner

Date

Please Print Name

Title


} currently
Price
City (N)

Office Use Only

Recommendation of Planning and Zoning Administrator (Community Director):

- ☒ Approve
☐ Decline

Comments: Concept only. PF zone. use C1. 11-1 & 11-1.m
evaluation criteria. Land use - Assisted living facility - Code Section
11.3.2.1.5.7 - conditional use.

Signature: 

Date: 9-11-15

Requires:

- ☒ Building Permit
☒ Conditional Use Permit
☐ Code Amendment
☐ Board of Adjustments Variance
☐ Flood Plain Development Permit
☒ Other: Busd Lic.



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TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.590.0187

WWW.ENSIGNUTAH.COM

FOR:
TENDER CARE HOSPICE
503 WEST 2800 SOUTH, SUITE 200
BOUNTIFUL, UTAH 84010

CONTACT:
RICHARD NUFFER
PHONE: 801-294-0560
FAX:

PRICE MC ASSISTED LIVING CENTER BOUNDARY & TOPOGRAPHY SURVEY PARK DRIVE & 500 NORTH STREET PRICE, UTAH

BOUNDARY & TOPOGRAPHY SURVEY

PROJECT NUMBER
6803

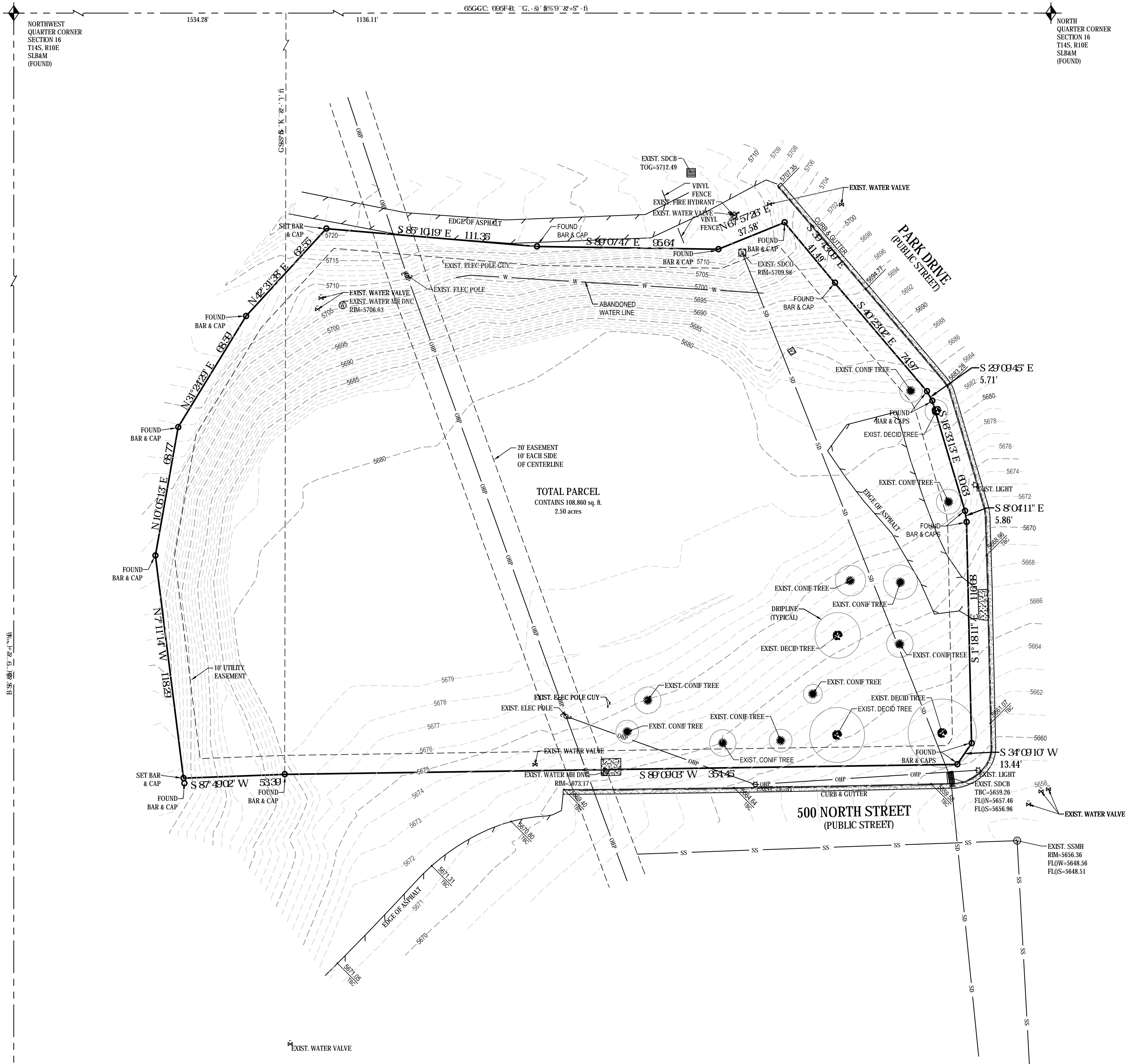
PRINT DATE
01/13/2016

DRAWN BY
B. HANEL

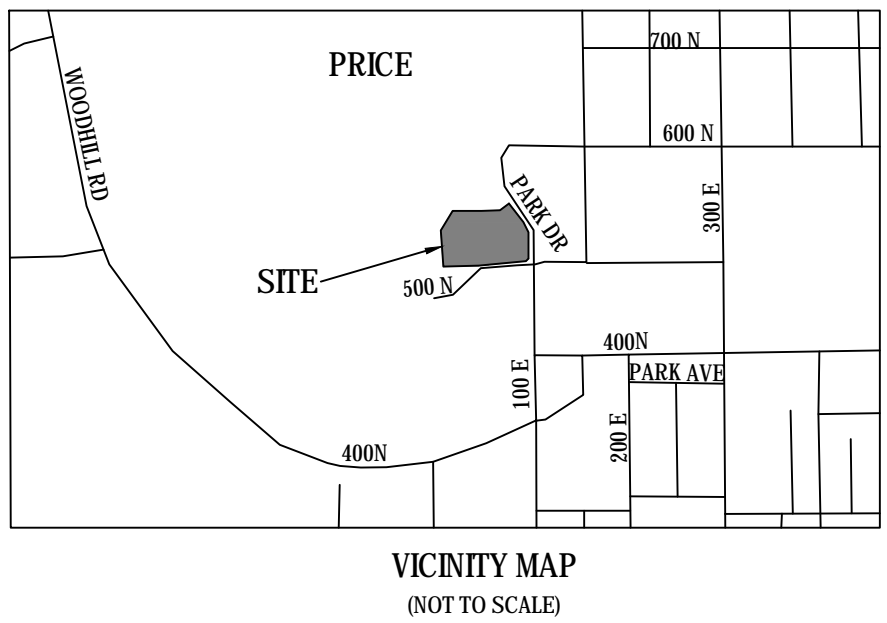
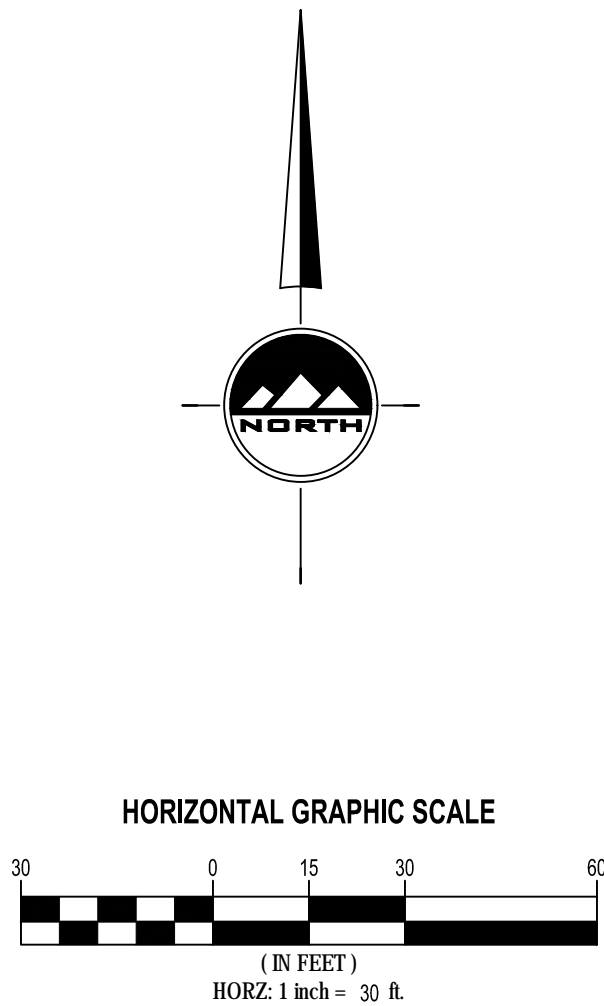
CHECKED BY
P. HARRIS

PROJECT MANAGER
P. HARRIS

1 OF 1



LEGEND		
	SECTION CORNER	MINOR CONTOURS 1' INCREMENT
	MONUMENT	MAJOR CONTOURS 5' INCREMENT
	SET NAIL & WASHER	CONCRETE
	SET ENSIGN REBAR AND CAP	ADJACENT RIGHT OF WAY
	WATER METER	RIGHT OF WAY
	WATER MANHOLE	SECTION LINE
	WATER VALVE	PROPERTY LINE
	FIRE HYDRANT	ADJACENT PROPERTY LINE
	IRRIGATION VALVE	DEED LINE
	SANITARY SEWER MANHOLE	TANGENT LINE
	STORM DRAIN CLEAN OUT	FENCE
	STORM DRAIN CATCH BASIN	EDGE OF ASPHALT
	STORM DRAIN COMBO BOX	SS SANITARY SEWER
	SIGN	SD STORM DRAIN LINE
	UTILITY MANHOLE	W WATER LINE
	UTILITY POLE	IRR IRRIGATION LINE
	GAS METER	T TELEPHONE LINE
	GAS LINE	OHP OVERHEAD POWER



LOCATED IN THE WEST HALF
OF SECTION 16
TOWNSHIP 14 SOUTH, RANGE 10 EAST
SALT LAKE BASE AND MERIDIAN
PRICE, CARBON COUNTY, UTAH

GENERAL NOTES

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: THE DESIGN ENGINEER, LOCAL AGENCY JURISDICTION, APWA (2012 EDITION), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- CONTRACTOR TO STRICTLY FOLLOW THE MOST CURRENT COPY OF THE SOILS REPORT FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH SOILS REPORT.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY, STATE, OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (95% DENSITY PER ASTM D-1557) SUB GRADE.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- CONTRACTOR TO LAYOUT AND POTHOLE FOR ALL POTENTIAL CONFLICTS WITH UTILITY LINES ON- OR OFF-SITE AS REQUIRED PRIOR TO ANY CONSTRUCTION, AND THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY POTHOLING A MINIMUM OF 300 FEET AHEAD OF PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. IF A CONFLICT ARISES RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO POTHOLE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDBLE FOR AN AMOUNT REQUIRED BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTORS EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
- ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
- ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL TREES FROM DAMAGE.
- ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE PLACEMENT OF ASPHALT WITHIN THE CITY RIGHT-OF-WAY.
- CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
- A UTAH (UPDES) POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE AS WELL AS A STORM WATER POLLUTION PREVENTION PLAN.

UTILITY NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, CITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE, AND POWER.
- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS BASED ON ON-SITE SURVEY. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MARK AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT CONTRACTOR'S EXPENSE.
- TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS (2012 EDITION), SECTION 0230 - BACKFILLING TRENCHES, OR AS REQUIRED BY THE GEOTECHNICAL REPORT IF NATIVE MATERIALS ARE USED. NO NATIVE MATERIALS ARE ALLOWED IN THE PIPE ZONE. THE MAXIMUM LIFT FOR BACKFILLING EXCAVATIONS IS 8 INCHES.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES AND FOR THE PROTECTION OF WORKERS.
- THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.
- ALL WATER LINE AND SEWER LINE INSTALLATION AND TESTING TO BE IN ACCORDANCE WITH LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL MANHOLES, HYDRANTS, VALVES, CLEANOUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER APWA (2012 EDITION) STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS, AND VALVES PER APWA STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION.
- SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DEWATERED CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, CENTER TO CENTER, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, THE SEWER LINE AND WATER LINE SHALL BE LAID IN SEPARATE TRENCHES AND THERE SHALL BE A MINIMUM 18" VERTICAL SEPARATION BETWEEN THE PIPES.
- CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.

TRAFFIC CONTROL AND SAFETY NOTES

- TRAFFIC CONTROL AND STRIPING TO CONFORM TO THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT M.U.T.C.D.
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AGENCY, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
- TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
- ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
- THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.

DEMOLITION NOTES

- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND MAY NOT BE LOCATED CORRECTLY AND IS NOT ALL INCLUSIVE. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES WITHIN THE PROJECT LIMITS BEFORE BEGINNING DEMOLITION/CONSTRUCTION.
- THERE MAY BE BURIED UTILITIES WITHIN THE LIMITS OF DISTURBANCE THAT ARE NOT SHOWN ON THE PLANS DUE TO LACK OF MAPPING OR RECORD INFORMATION. CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN UNEXPECTED UTILITIES ARE DISCOVERED.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LOCATING AND PROTECTING FROM DAMAGE ALL EXISTING UTILITIES AND IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. THE FACILITIES AND IMPROVEMENTS ARE BELIEVED TO BE CORRECTLY SHOWN BUT THE CONTRACTOR IS REQUIRED TO SATISFY HIMSELF AS TO THE COMPLETENESS AND ACCURACY OF THE LOCATIONS. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY, OR INDIRECTLY, FROM HIS OPERATIONS, WHETHER OR NOT SAID FACILITIES ARE SHOWN ON THESE PLANS.

GRADING AND DRAINAGE NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL RELATED ADDENDUMS.
- THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
- THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING GRADING FILL OR BASE COURSE. THE AREA SHOULD BE PROOF-ROLLED TO IDENTIFY ANY SOFT AREAS. WHERE SOFT AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE SOIL AND REPLACE WITH COMPACTED FILL.
- ALL DEBRIS PILES AND BERMS SHOULD BE REMOVED AND HAULED AWAY FROM SITE OR USED AS GENERAL FILL IN LANDSCAPED AREAS.
- THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAD TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT, AND STRICTLY ADHERE TO THE SITE PREPARATION AND GRADING REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL GRADE THE PROJECT SITE TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING ASPHALT, CURB AND GUTTER, AND ADJOINING SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THOSE STREETS.
- THE CONTRACTOR SHALL BE FAMILIAR WITH ALL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT AND TAKE ALL NECESSARY PRECAUTIONS AND RECOMMENDED PROCEDURES TO ASSURE SOUND GRADING PRACTICES.
- THE CONTRACTOR SHALL TAKE APPROPRIATE GRADING MEASURES TO DIRECT STORM SURFACE RUNOFF TOWARDS CATCH BASINS.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON ON-SITE SURVEY. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND SLOPES SHOWN.
- THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT. ALL CONTRACTOR ACTIVITIES 1 ACRE OR MORE IN SIZE ARE REQUIRED TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN.
- ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
- THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GOVERNING AGENCY.
- THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY-OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.

ABBREVIATIONS

APWA	AMERICAN PUBLIC WORKS ASSOCIATION
AR	ACCESSIBLE ROUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWWA	AMERICAN WATER WORKS ASSOCIATION
BOS	BOTTOM OF STEP
BVC	BEGIN VERTICAL CURVE
C	CURVE
CB	CATCH BASIN
CF	CURB FACE OR CURB FEET
CL	CENTER LINE
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
CONT	CONTINUOUS
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
ELEC	ELECTRICAL
ELEV	ELEVATION
EDA	EDGE OF ASPHALT
EVC	END OF VERTICAL CURVE
EW	EACH WAY
EXIST	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FI	FIRE HYDRANT
FL	FLOW LINE OR FLANGE
GB	GRADE BREAK
GF	GARAGE FLOOR
GV	GATE VALVE
HC	HANDICAP
HP	HIGH POINT
IRR	IRRIGATION
K	RATE OF VERTICAL CURVATURE
LD	LAND DRAIN
LF	LINEAR FEET
LP	LOW POINT
MH	MANHOLE
MJ	MECHANICAL JOINT
NG	NATURAL GROUND
NIC	NOT IN CONTRACT
NO	NUMBER
OC	ON CENTER
OCW	ON CENTER EACH WAY
OHP	OVERHEAD POWER
PC	POINT OF CURVATURE OR PRESSURE CLASS
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PV	POST INDICATOR VALVE
PL	PROPERTY LINE
PRC	POINT OF REVERSE CURVATURE
PRO	PROPOSED
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RD	ROOF DRAIN
ROW	RIGHT OF WAY
S	SLOPE
SAN SWR	SANITARY SEWER
SD	STORM DRAIN
SEC	SECONDARY
SS	SANITARY SEWER
STA	STATION
SW	SIDEWALK
SWL	SECONDARY WATER LINE
TBC	TOP BACK OF CURB
TGC	TOP OF GRATE
TOA	TOP OF ASPHALT
TOC	TOP OF CONCRETE
TOF	TOP OF FOUNDATION
TOW	TOP OF WALL
TOS	TOP OF STEP
TYP	TYPICAL
VC	VERTICAL CURVE
WV	WALL INDICATOR VALVE
WL	WATER LINE

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

LEGEND

	SECTION CORNER		EXISTING EDGE OF ASPHALT
	EXISTING MONUMENT		PROPOSED EDGE OF ASPHALT
	PROPOSED MONUMENT		EXISTING STRIPING
	EXISTING REBAR AND CAP		PROPOSED STRIPING
	SET ENSIGN REBAR AND CAP		EXISTING FENCE
	EXISTING WATER METER		PROPOSED FENCE
	PROPOSED WATER METER		EXISTING FLOW LINE
	EXISTING WATER MANHOLE		PROPOSED FLOW LINE
	PROPOSED WATER MANHOLE		GRADE BREAK
	EXISTING WATER BOX		EXISTING STORM DRAIN LINE
	EXISTING WATER VALVE		PROPOSED STORM DRAIN LINE
	PROPOSED WATER VALVE		ROOF DRAIN LINE
	EXISTING FIRE HYDRANT		CATCHMENTS
	PROPOSED FIRE HYDRANT		HIGHWATER LINE
	PROPOSED FIRE DEPARTMENT CONNECTION		EXISTING SANITARY SEWER
	EXISTING SECONDARY WATER VALVE		PROPOSED SANITARY SEWER LINE
	PROPOSED SECONDARY WATER VALVE		PROPOSED SAN. SWR. SERVICE LINE
	EXISTING IRRIGATION BOX		EXISTING LAND DRAIN LINE
	EXISTING IRRIGATION VALVE		PROPOSED LAND DRAIN LINE
	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
	EXISTING SANITARY SEWER MANHOLE		EXISTING CULINARY WATER LINE
	PROPOSED SANITARY SEWER MANHOLE		PROPOSED CULINARY WATER LINE
	EXISTING SANITARY CLEAN OUT		PROPOSED CULINARY WATER SERVICE LINE
	EXISTING STORM DRAIN CLEAN OUT BOX		EXISTING SECONDARY WATER LINE
	PROPOSED STORM DRAIN CLEAN OUT BOX		PROPOSED SECONDARY WATER LINE
	EXISTING STORM DRAIN INLET BOX		PROPOSED SEC. WATER SERVICE LINE
	EXISTING STORM DRAIN CATCH BASIN		EXISTING IRRIGATION LINE
	PROPOSED STORM DRAIN CATCH BASIN		PROPOSED IRRIGATION LINE
	EXISTING STORM DRAIN COMBO BOX		EXISTING OVERHEAD POWER LINE
	PROPOSED STORM DRAIN COMBO BOX		EXISTING ELECTRICAL LINE
	EXISTING STORM DRAIN CLEAN OUT		EXISTING GAS LINE
	EXISTING STORM DRAIN CULVERT		EXISTING TELEPHONE LINE
	PROPOSED STORM DRAIN CULVERT		ACCESSIBLE ROUTE
	TEMPORARY SAG INLET PROTECTION		SAW CUT LINE
	TEMPORARY IN-LINE INLET PROTECTION		STRAW WATTLE
	ROOF DRAIN		TEMPORARY BERM
	EXISTING ELECTRICAL MANHOLE		TEMPORARY SILT FENCE
	EXISTING ELECTRICAL BOX		LIMITS OF DISTURBANCE
	EXISTING TRANSFORMER		PROPOSED WALL
	EXISTING UTILITY POLE		EXISTING CONTOURS
	EXISTING LIGHT		PROPOSED CONTOURS
	PROPOSED LIGHT		BUILDABLE AREA WITHIN SETBACKS
	EXISTING GAS METER		PUBLIC DRAINAGE EASEMENT
	EXISTING GAS MANHOLE		EXISTING ASPHALT TO BE REMOVED
	EXISTING GAS VALVE		PROPOSED ASPHALT
	EXISTING TELEPHONE MANHOLE		EXISTING CURB AND GUTTER
	EXISTING TELEPHONE BOX		EXISTING CURB AND GUTTER
	EXISTING TRAFFIC SIGNAL BOX		PROPOSED REVERSE PAN CURB AND GUTTER
	EXISTING CABLE BOX		TRANSITION TO REVERSE PAN CURB
	EXISTING BOLLARD		CONCRETE TO BE REMOVED
	PROPOSED BOLLARD		EXISTING CONCRETE
	EXISTING SIGN		PROPOSED CONCRETE
	PROPOSED SIGN		BUILDING TO BE REMOVED
	EXISTING SPOT ELEVATION		EXISTING BUILDING
	PROPOSED SPOT ELEVATION		PROPOSED BUILDING
	EXISTING FLOW DIRECTION		
	EXISTING TREE		
	DENSE VEGETATION		

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.



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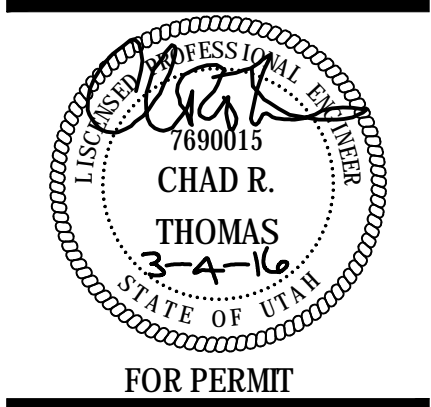
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TENDER CARE HOSPICE
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BOUNTIFUL, UTAH 84010

CONTACT:
RICHARD NUFFER
PHONE: 801-294-0560

PRICE MC ASSISTED LIVING CENTER

PARK DRIVE & 500 NORTH STREET
PRICE, UTAH



GENERAL NOTES

PROJECT NUMBER: 6803 PRINT DATE: 3/4/16

DRAWN BY: CHECKED BY:

PROJECT MANAGER:

C-001



811
Know what's below.
Call before you dig.

BENCHMARK

NORTH QUARTER CORNER SECTION 16 T14S,
R10E SLB&M (FOUND)

ELEVATION = 5698.15

BENCHMARK

NORTH QUARTER CORNER SECTION 16 T14S,
R10E SLB&M (FOUND)

ELEVATION = 5698.15

BENCHMARK

NORTH QUARTER CORNER SECTION 16 T14S,
R10E SLB&M (FOUND)

ELEVATION = 5698.15

NORTHWEST
QUARTER CORNER
SECTION 16
T14S, R10E
SLB&M
(FOUND)

NORTH
QUARTER CORNER
SECTION 16
T14S, R10E
SLB&M
(FOUND)

SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT	18,991	17%
ROOF	9,942	9%
LANDSCAPING	79,927	74%
TOTAL SITE	108,860 2.50 ACRES	100%

PARKING DATA TABLE	
STANDARD STALLS	14
HANDICAP-ACCESSIBLE STALLS	1
TOTAL STALLS	15

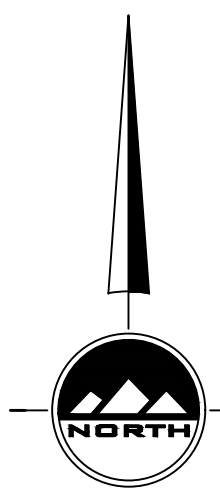
GENERAL NOTES

- ## GENERAL NOTES
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
 4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
 5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL FINISHES AND DECORATIVE SURFACES, S.O.D., FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
 6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
 7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

SCOPE OF WORK:
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE
 DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 ASPHALT PAVEMENT: 1" THICK ASPHALTIC CONCRETE WITH 1" UNTREATED BASE COURSE PER
GEOTECHNICAL REPORT AND DETAIL 0/C-500.
- 2 ROLL ASPHALT TO PROVIDE 6" THICKENED EDGE. EXTEND BASE COURSE 2" BEYOND EDGE OF ASPHALT.
- 3 (11+47.77 C/B75F9D G68K 50F 51K 5 G F88SF8 D0FB BC" 8% 588 Q007+ -754CBG"
- 4 @170.0007HCB71 F6 F588; 1" H/HF PER DETAIL 11/C-500.
- 5 ON-SITE HANDICAP ACCESS RAMP PER DETAIL 12/C-500.
- 6 CONCRETE PAD FOR SHED.
- 7 "1+HMD 1171 F6 K 500DF 51K 5 G F88SF8 D0FB BC" 8% 588 Q007+ -754CBG"
- 8 OPEN DRIVEWAY APPROACH PER APWA STANDARD PLAN NO. 225 AND SPECIFICATIONS.
- 9 HANDICAP ACCESS RAMP PER APWA STANDARD PLAN NO. 235 WITH DETECTABLE WARNING SURFACE PER
APWA STANDARD PLAN NO. 238 AND SPECIFICATIONS.
- 10 FENCE: 6" WROUGHT IRON FENCE - BLACK
- 11 PROVIDE 3" ACCESS GATE. PROVIDE CARD READER FOR ACCESS.
- 12 TRASH ENCLOSURE WITH 6" THICK CONCRETE APRON WITH #4 REBAR @ 24" C779K"CB"1; F519+0500
PER DETAIL 2.3.4.5/C-500
- 13 REMOVE AND PROPERLY DISPOSE OF EXISTING ASPHALT PAVEMENT.
- 14 "1+HMD 15171 F6 F588; 1" H/HF DDF 51K 5 G F88SF8 D0FB BC" 8% 588 Q007+ -754CBG"
- 15 4" WIDE SOLID WHITE PAVEMENT MARKING PER M.U.T.C.D. STANDARD PLANS.
- 16 PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER M.U.T.C.D. STANDARD PLANS.
- 17 "HANDICAP PARKING" SIGN PER M.U.T.C.D. STANDARD PLANS.
- 18 F9AC19LQ4B: 8F49500FC57-588 F90D679K 4+ "1+HMD 15171 F6 F588; 1" H/HF DDF 51K 5
STANDARD PLAN NO. 205 AND SPECIFICATIONS.
- 19 MONUMENT SIGN.
- 20 CONCRETE PAD FOR ELECTRICAL EQUIPMENT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.



SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

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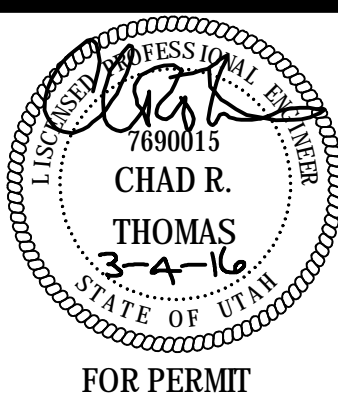
FOR:
TENDER CARE HOSPICE
503 WEST 2600 SOUTH, SUITE 20
BOUNTIFUL, UTAH 84010

CONTACT:
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PHONE: 801-294-0560

PRICE MC ASSISTED LIVING CENTER

PARK DRIVE & 500 NORTH STREET

PRICE, UTAH



SITE PLAN

PROJECT NUMBER PRINT DATE

DRAWN BY _____ CHECKED BY _____

PROJECT MANAGE

C-100

811

CALL BLUESTAKES
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PRIOR TO THE
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BENCHMARK

NORTH QUARTER CORNER SECTION 16 T14S, R10E SLB&M (FOUND)

ELEVATION = 5698.15

NORTHWEST QUARTER CORNER SECTION 16 T14S, R10E SLB&M (FOUND)

WEST QUARTER CORNER SECTION 16 T14S, R10E SLB&M (FOUND)

500 NORTH STREET (PUBLIC STREET)

PARK DRIVE (PUBLIC STREET)

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EN SIGN

THE STANDARD IN ENGINEERING

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CEDAR CITY
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RICHFIELD
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CONTACT:
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PRICE MC ASSISTED LIVING CENTER

PARK DRIVE & 500 NORTH STREET

PRICE, UTAH

PROFESSIONAL SEAL
CHAD R. THOMAS
STATE OF UTAH
FOR PERMIT

SITE PLAN
OPTION 1

PROJECT NUMBER
6803

PROJECT DATE
4/28/16

DRAWN BY

CHECKED BY

PROJECT MANAGER

C-101

NORTH

0 10 20 40

(IN FEET)

HORZ. 1 inch = 20 ft.

HORIZONTAL GRAPHIC SCALE

811

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NORTHWEST
QUARTER CORNER
SECTION 16
T14S, R10E
SL&M
(FOUND)

NORTH
QUARTER CORNER
SECTION 16
T14S, R10E
SL&M
(FOUND)

WEST
QUARTER CORNER
SECTION 16
T14S, R10E
SL&M
(FOUND)

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EN SIGN

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PROFESSIONAL SEAL

CHAD R. THOMAS

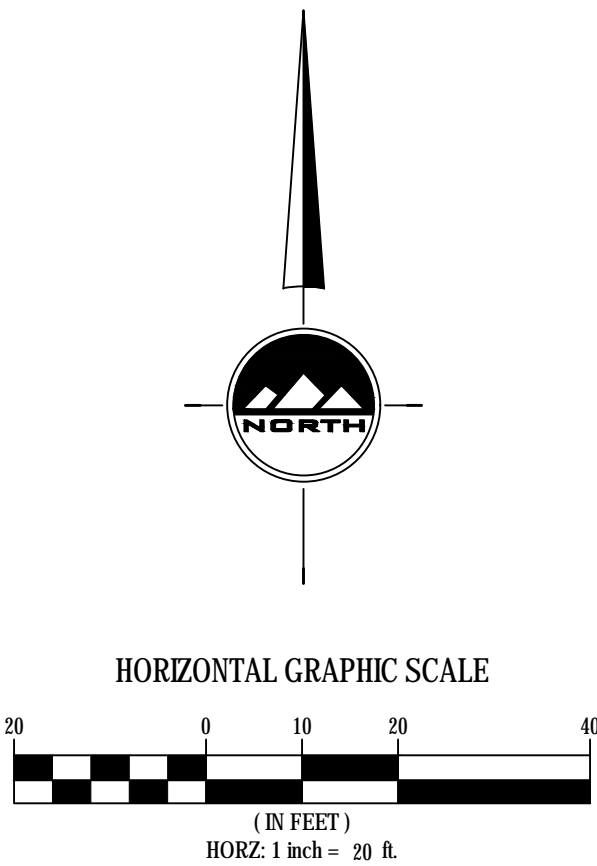
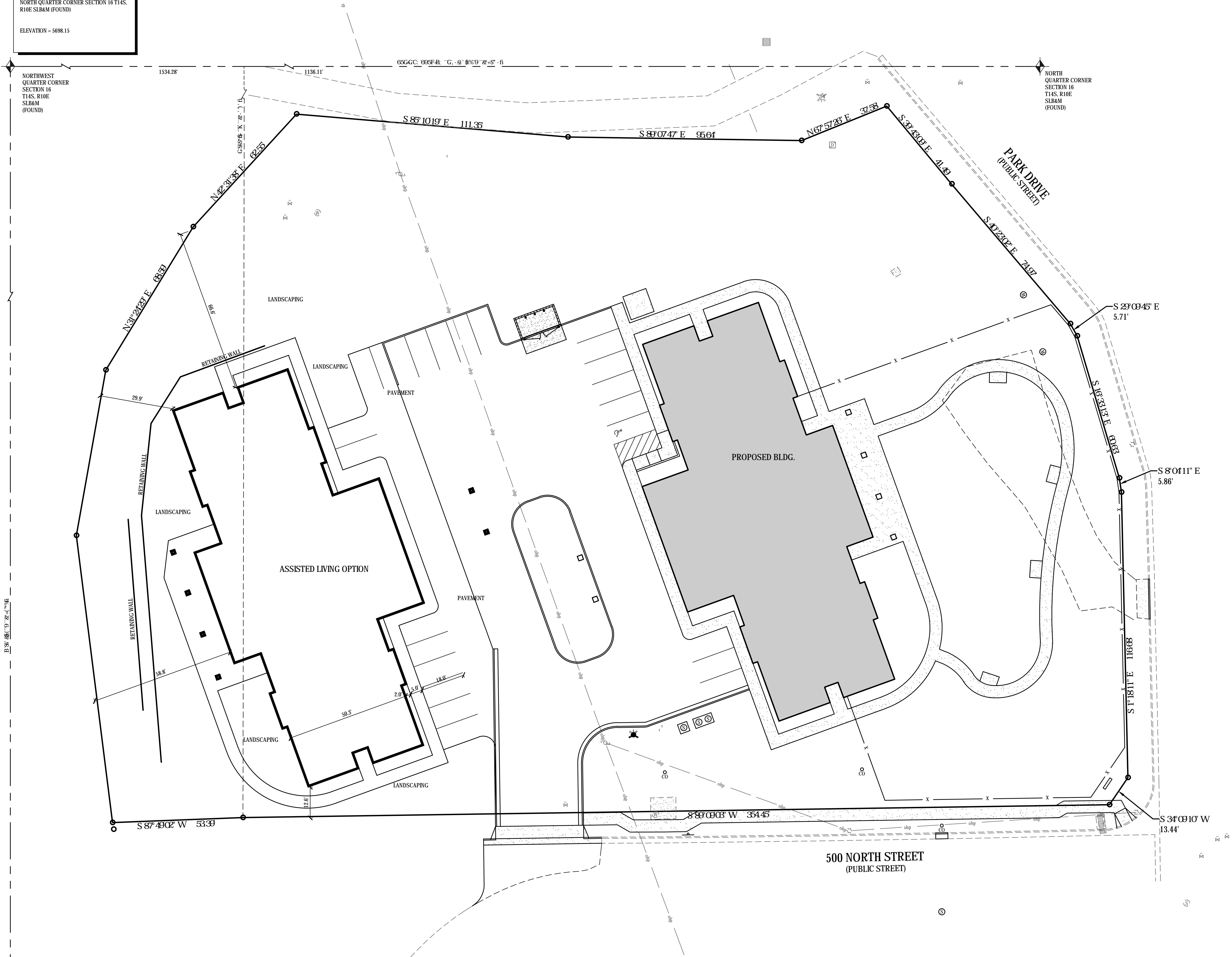
STATE OF UTAH

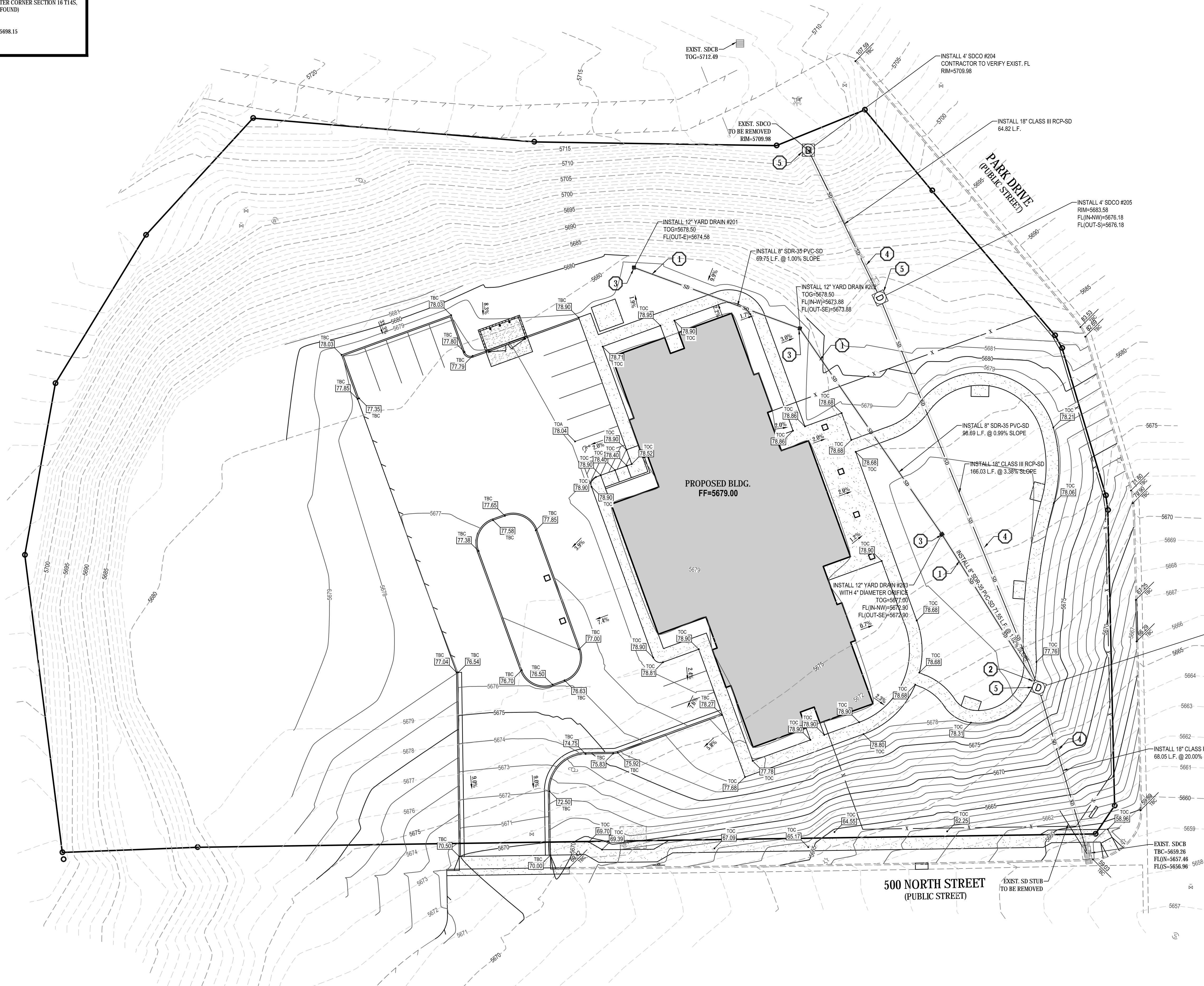
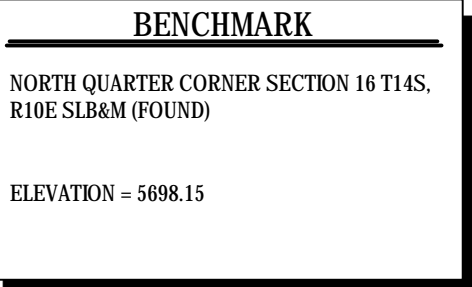
FOR PERMIT

SITE PLAN
OPTION 2

PROJECT NUMBER: 6803
PRINT DATE: 4/28/16
DRAWN BY:
CHECKED BY:
PROJECT MANAGER:

C-102





GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
4. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
5. ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. XXXX REPRESENTS AN ELEVATION OF 48XX.XX ON THESE PLANS.
6. LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
7. SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
8. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
9. ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
10. ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
11. ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE MECHANICAL/PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
12. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
13. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
14. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 SDR 35 STORM DRAIN LINE OR APPROVED EQUAL. INSTALLATION AND TRENCHING PER APWA STANDARDS AND SPECIFICATIONS. LENGTH AND SLOPE PER PLAN.
- 2 ORIFICE PLATE PER DETAIL 14C-500 INSTALLED ON NORTH SIDE OF STORM DRAIN BOX.
- 3 12" PVC INLINE DRAIN WITH SLOTTED GATE AND 6" OUTLET RISER, INCLUDING ALL FITTINGS PER DETAIL 15C-500. INSTALL PER MANUFACTURER'S SPECIFICATIONS. EXTEND END OF 6" SPOOL 1' ABOVE PROPOSED TOP OF CURB ELEVATION. ADJUST GRATE TO APPROPRIATE FINAL ELEVATION PER PLANS AND LANDSCAPE TREATMENT.
- 4 RCP CURB STORM DRAIN LINE OR APPROVED EQUAL. INSTALLATION AND TRENCHING PER APWA STANDARDS AND SPECIFICATIONS. LENGTH AND SLOPE PER PLAN.
- 5 CLEANOUT BOX PER APWA STANDARD PLAN NO. 331 AND SPECIFICATIONS.

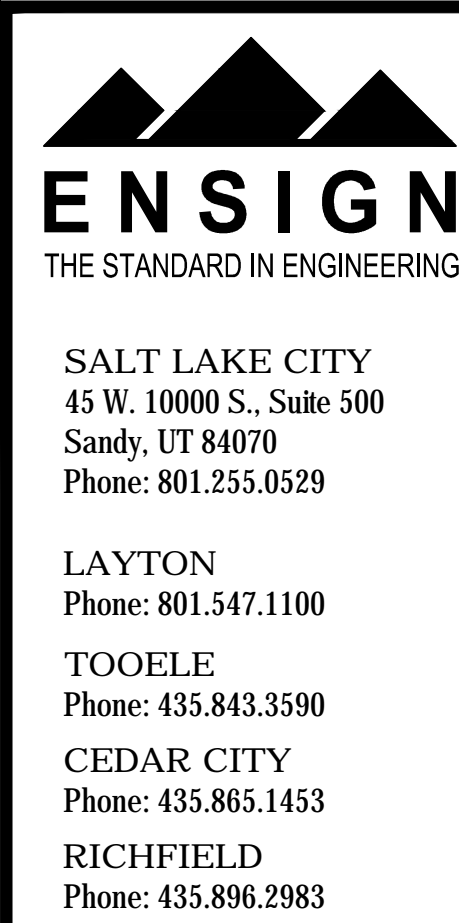
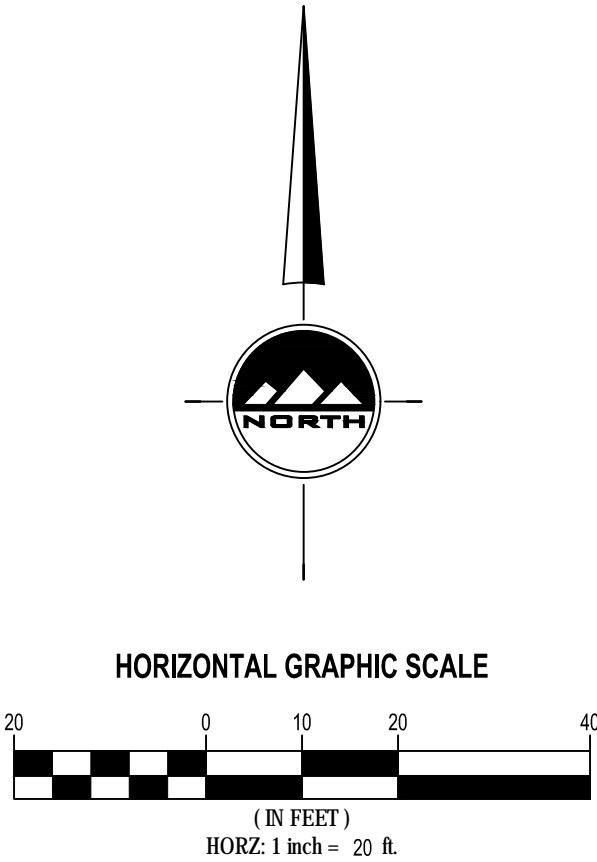
DRAINAGE CALCULATIONS

PRE-DEVELOPED RUNOFF
AREA = 2.50 ACRES
C = 0.45
1 = 3.78 (100-YR 15 MIN TIME OF CONCENTRATION)
CIA = 4.22 CFS

EAST DETENTION
AREA = 1.00 ACRES
C = 0.54
RELEASE RATE = 1.0 CFS
VOLUME REQUIRED = 937 CUBIC FEET
VOLUME PROVIDED = 1.043 CUBIC FEET

WEST AND FUTURE PHASE RUNOFF
AREA = 1.50 ACRES
C = 0.50
1 = 3.78 (100-YR 15 MIN TIME OF CONCENTRATION)
CIA = 2.84 CFS

COMBINED POST DEVELOPMENT RUNOFF = 3.84 CFS
LESS THAN PRE DEVELOPED FLOW OF 4.22 CFS



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FOR:

TENDER CARE HOSPICE
503 WEST 2600 SOUTH, SUITE 200
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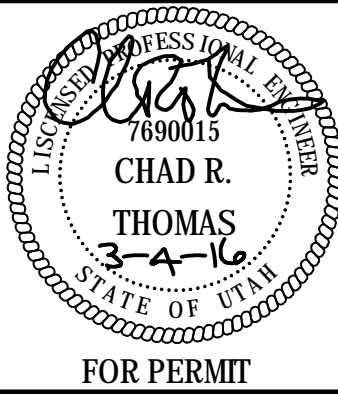
CONTACT:

RICHARD NUFFER
PHONE: 801-294-0560

PRICE MC ASSISTED LIVING CENTER

PARK DRIVE & 500 NORTH STREET

PRICE, UTAH



GRADING AND DRAINAGE PLAN

PROJECT NUMBER	PRINT DATE
6803	3/4/16
DRAWN BY	CHECKED BY
PROJECT MANAGER	

C-200

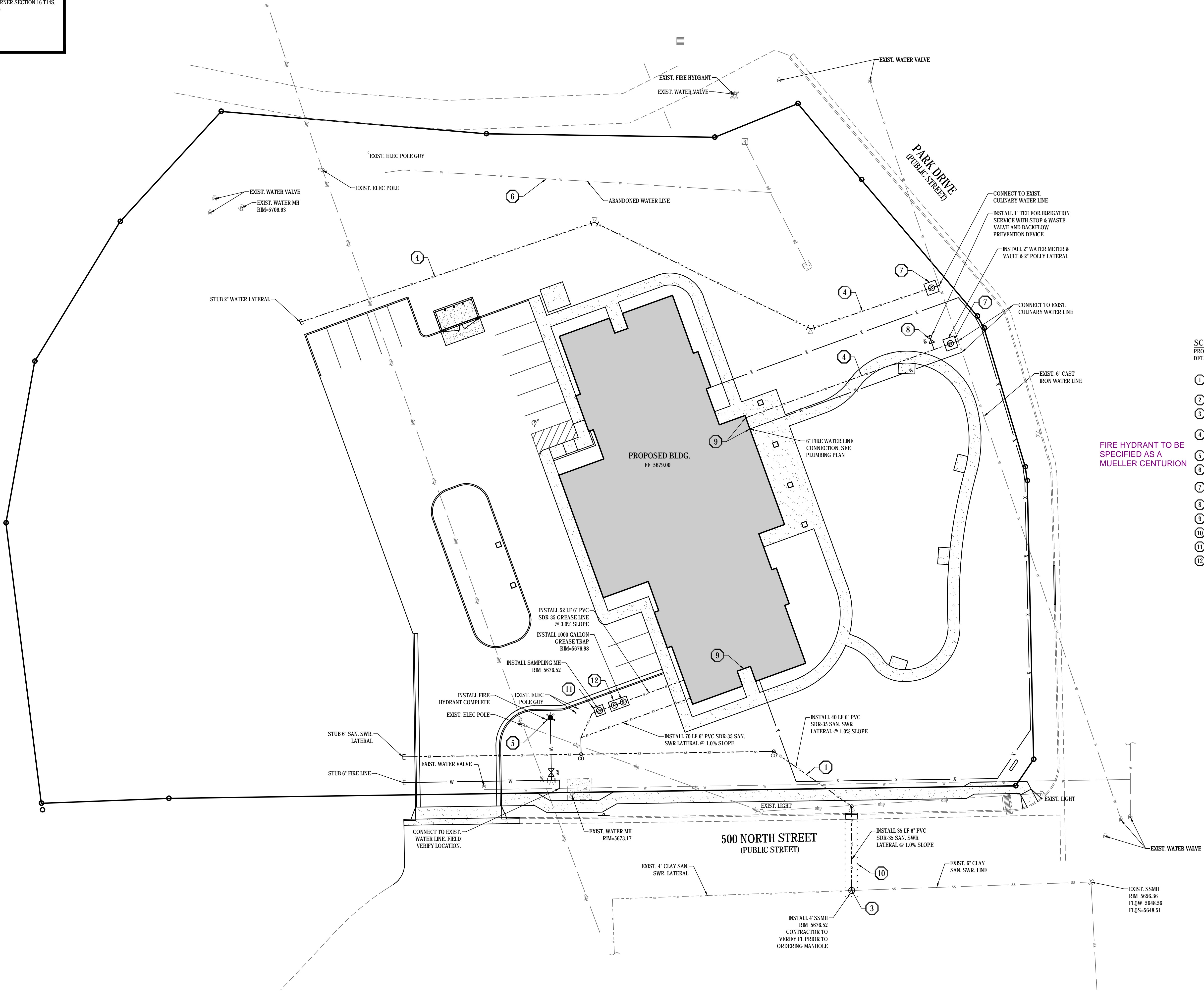
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R10E SL&M (FOUND)

ELEVATION = 5698.15



- GENERAL NOTES
1.

ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
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3.

ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
4.

ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
5.

DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
6.

PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
7.

THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
8.

NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
9.

THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
10.

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- SCOPE OF WORK:
- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
1.

SDR-35 PVC SANITARY SEWER LATERAL, INCLUDING CLEANOUTS AT MAXIMUM 100 FOOT SPACING, INSTALLATION AND TRENCHING PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS. LENGTH AND SLOPE PER PLAN.
2.

SANITARY SEWER CLEANOUT PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
3.

CONNECT TO EXISTING SEWER MAIN PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
4.

C-900 PVC WATER LINE, INCLUDING ALL THRUST BLOCKING AND FITTINGS, PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS. INSTALLATION AND TRENCHING PER APWA STANDARDS AND SPECIFICATIONS.
5.

FIRE HYDRANT ASSEMBLY COMPLETE PER PRICE CITY ENGINEERING - MUELLER CENTURION.
6.

ABANDON EXISTING WATER LATERAL IN PLACE PER CITY STANDARDS AND SPECIFICATIONS.
7.

2" CULINARY WATER METER AND CONCRETE VAULT PER APWA STANDARD PLAN NO. 505 AND SPECIFICATIONS.
8.

POINT OF CONNECTION FOR IRRIGATION CONTRACTOR.
9.

SEE MECHANICAL PLANS FOR CONTINUATION.
10.

SAWCUT, REMOVE AND PROPERLY REPLACE EXISTING ASPHALT PAVEMENT.
11.

INSTALL SAMPLING MANHOLE PER PRICE CITY STANDARDS AND SPECIFICATIONS. SEE SHEET C-501.
12.

INSTALL GREASE TRAP PER PRICE CITY STANDARDS AND SPECIFICATIONS. SEE SHEET C-501.

EN SIGN

THE STANDARD IN ENGINEERING

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PRICE MC ASSISTED LIVING CENTER

PARK DRIVE & 500 NORTH STREET

PRICE, UTAH

Professional Engineer

7690015

CHAD R. THOMAS

STATE OF UTAH

FOR PERMIT

UTILITY PLAN

PROJECT NUMBER
6803

PRINT DATE
4/28/16

DRAWN BY

CHECKED BY

PROJECT MANAGER

C-300

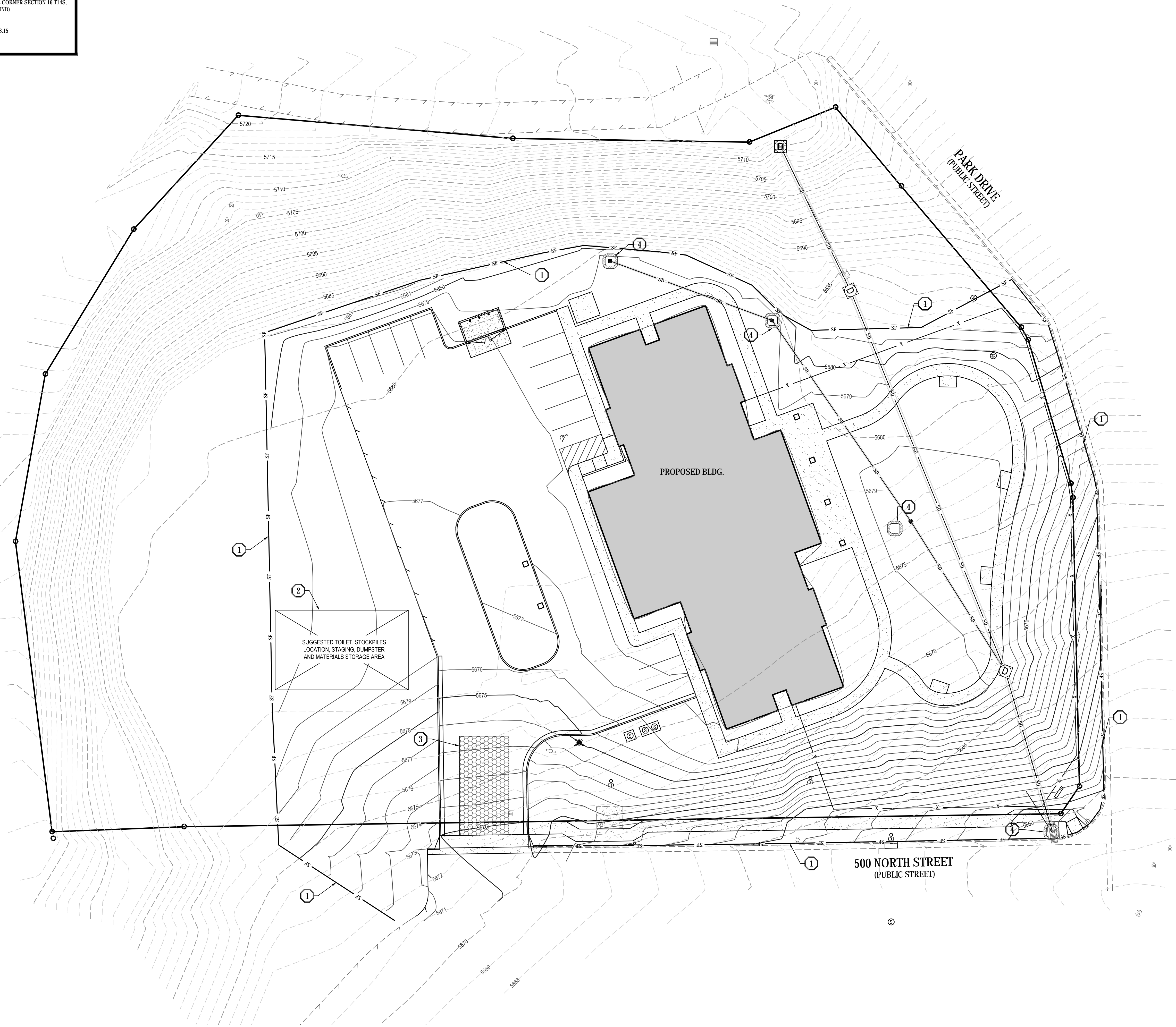


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BENCHMARK

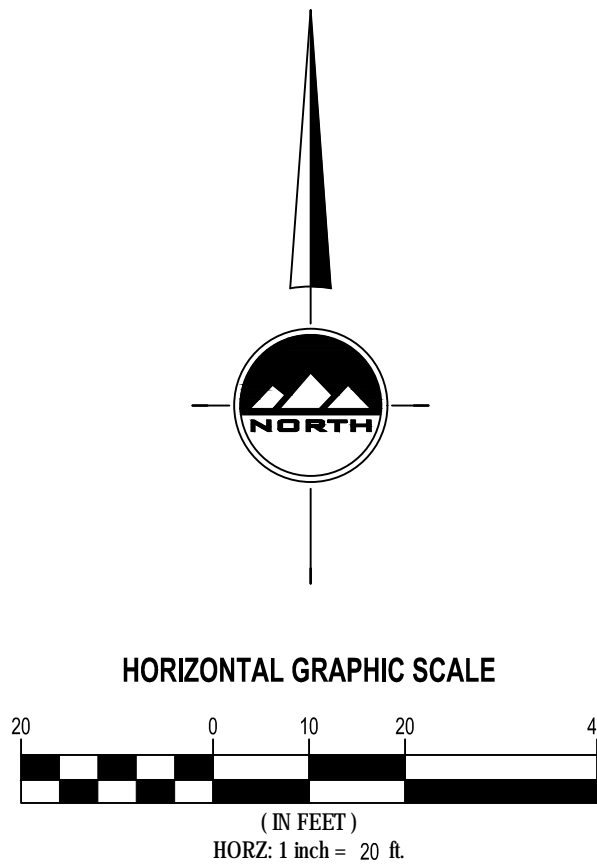
NORTH QUARTER CORNER SECTION 16 T14S.
R10E SLB&M (FOUND)

ELEVATION = 5698.15



- GENERAL NOTES**
- THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
 - DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
 - RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
 - DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
 - VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMP'S TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
 - NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
 - A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- SILT FENCE PER DETAIL 8/C-500.
 - PORTABLE TOILET PER DETAIL 9/C-500.
 - VEHICLE WASHDOWN AND STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 10/C-500.
 - INLET PROTECTION PER DETAIL 13/C-500.





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CONTACT:
RICHARD NUFFER
PHONE: 801-294-0560

PRICE MC ASSISTED LIVING CENTER

PARK DRIVE & 500 NORTH STREET

PRICE, UTAH



FOR PERMIT

EROSION CONTROL
PLAN

PROJECT NUMBER
6803

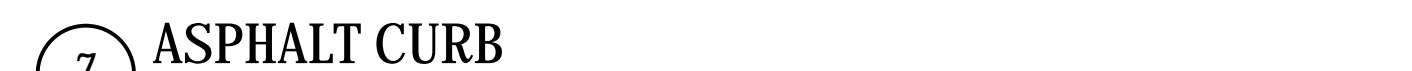
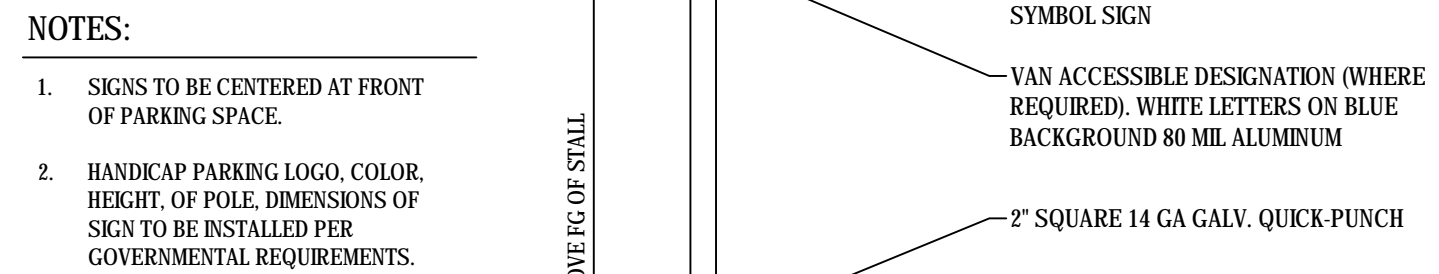
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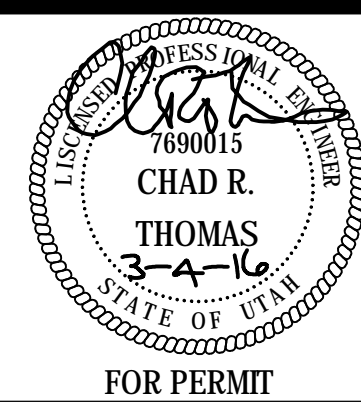
PROJECT MANAGER

C-400



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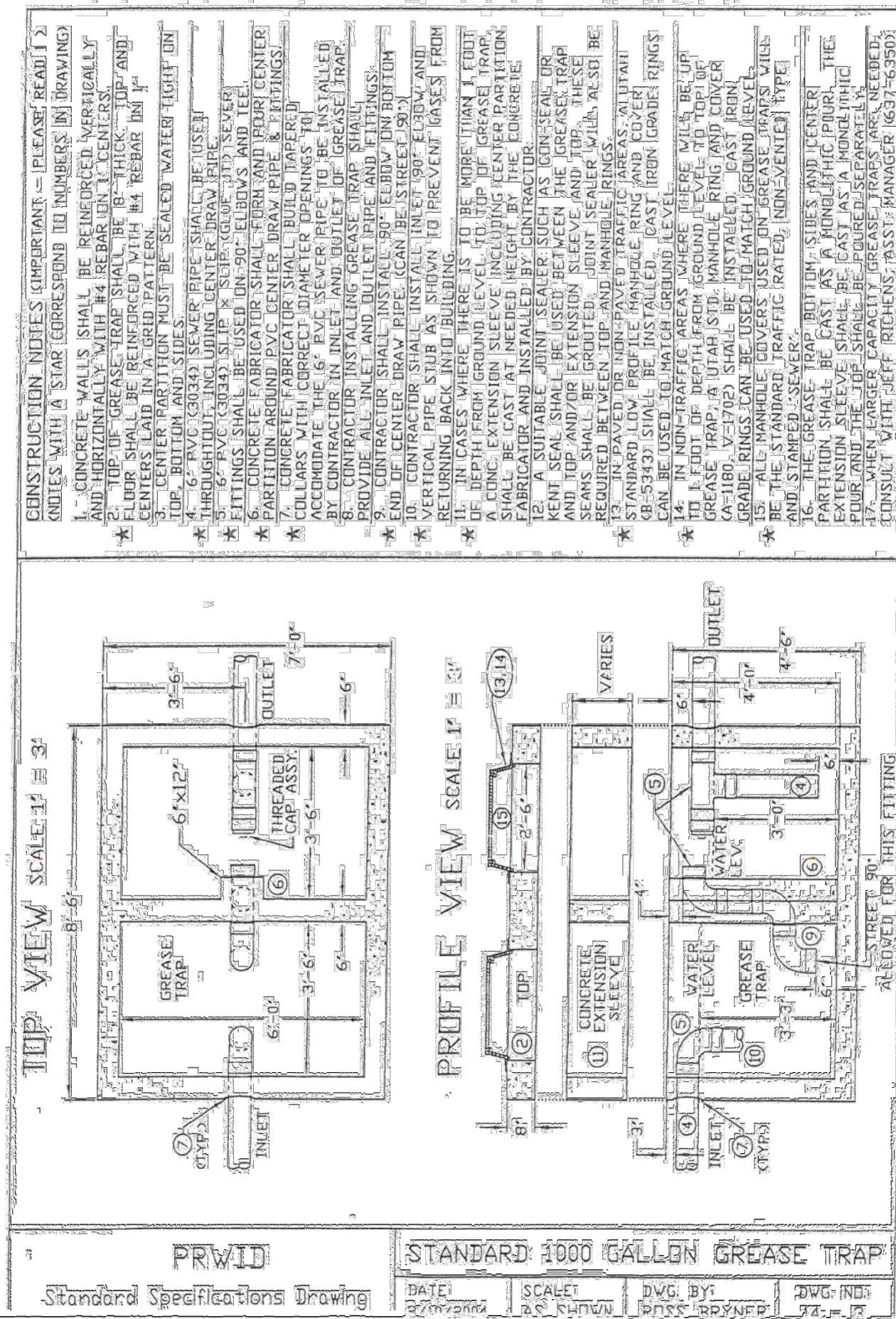
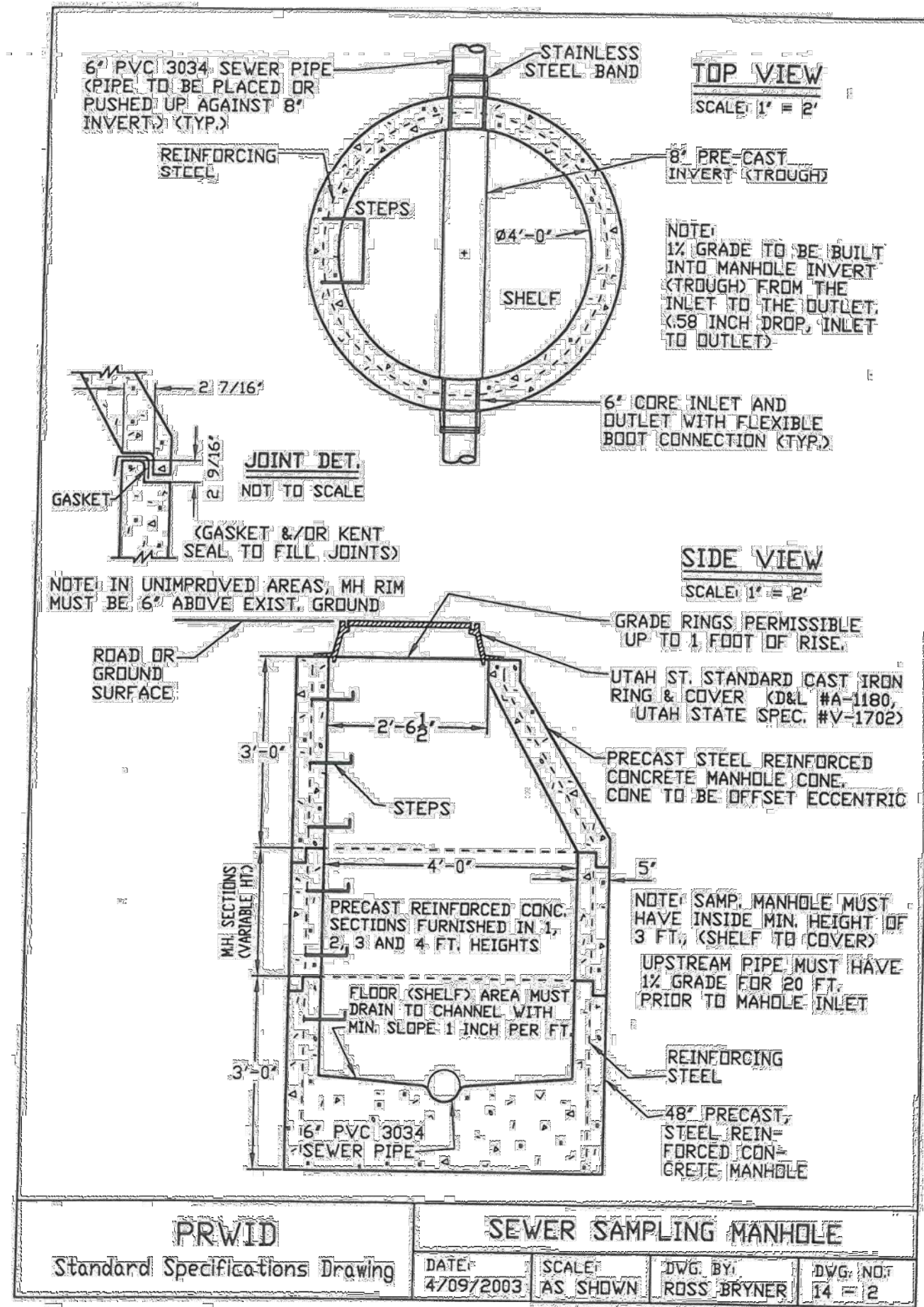


DETAILS

PROJECT NUMBER: 6803
PRINT DATE: 3/4/16
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PROJECT MANAGER

C-501



811

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Know what's below.
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BENCHMARK

NORTH QUARTER CORNER SECTION 16 T14S,
R10E SLB&M (FOUND)

ELEVATION = 5698.15

SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT	20,301	19%
ROOF	9,942	9%
LANDSCAPING	78,617	72%
TOTAL SITE	108,860 2.50 ACRES	100%

Landscape

Trees				
Qty	Symbol	Common Name	Botanical Name	Plant Size
6		Existing Tree to Remain (Preserve and Protect throughout Project)	N/A	N/A
5		Pine, Austrian	Pinus nigra	6' Min.
5		Zeikova, Japanese 'Village Green'	Zeikova serrata 'Village Green'	3" Cal.
4		Redbud, Eastern	Cercis canadensis	3" Cal.
3		Ash, Velvet	Fraxinus velutina	3" Cal.

Shrubs				
Qty	Symbol	Common Name	Botanical Name	Plant Size
21		Pine, Mugo	Pinus mugo 'Compacta'	5 Gallon
12		Mountain Lover	Pachistima myrsinites	5 Gallon
21		Sand or Western Cherry	Prunus besseyi	5 Gallon
24		Gro-low Sumac	Rhus aromatica 'Gro-low'	5 Gallon
9		Creeping Oregon Grape	Mahonia repens	5 Gallon
12		Dwarf Smooth Sumac	Rhus glabra v cistmontana	5 Gallon

Annuals-Perennials				
Qty	Symbol	Common Name	Botanical Name	Plant Size
44		Beard Tongue, Eaton's	Penstemon eatonii	1 Gallon
47		Beard Tongue, Wasatch	Penstemon cyananthus	1 Gallon
25		Whipple's Penstemon	Penstemon linarioides	1 Gallon

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LANDSCAPE PLAN

PROJECT NUMBER
6803

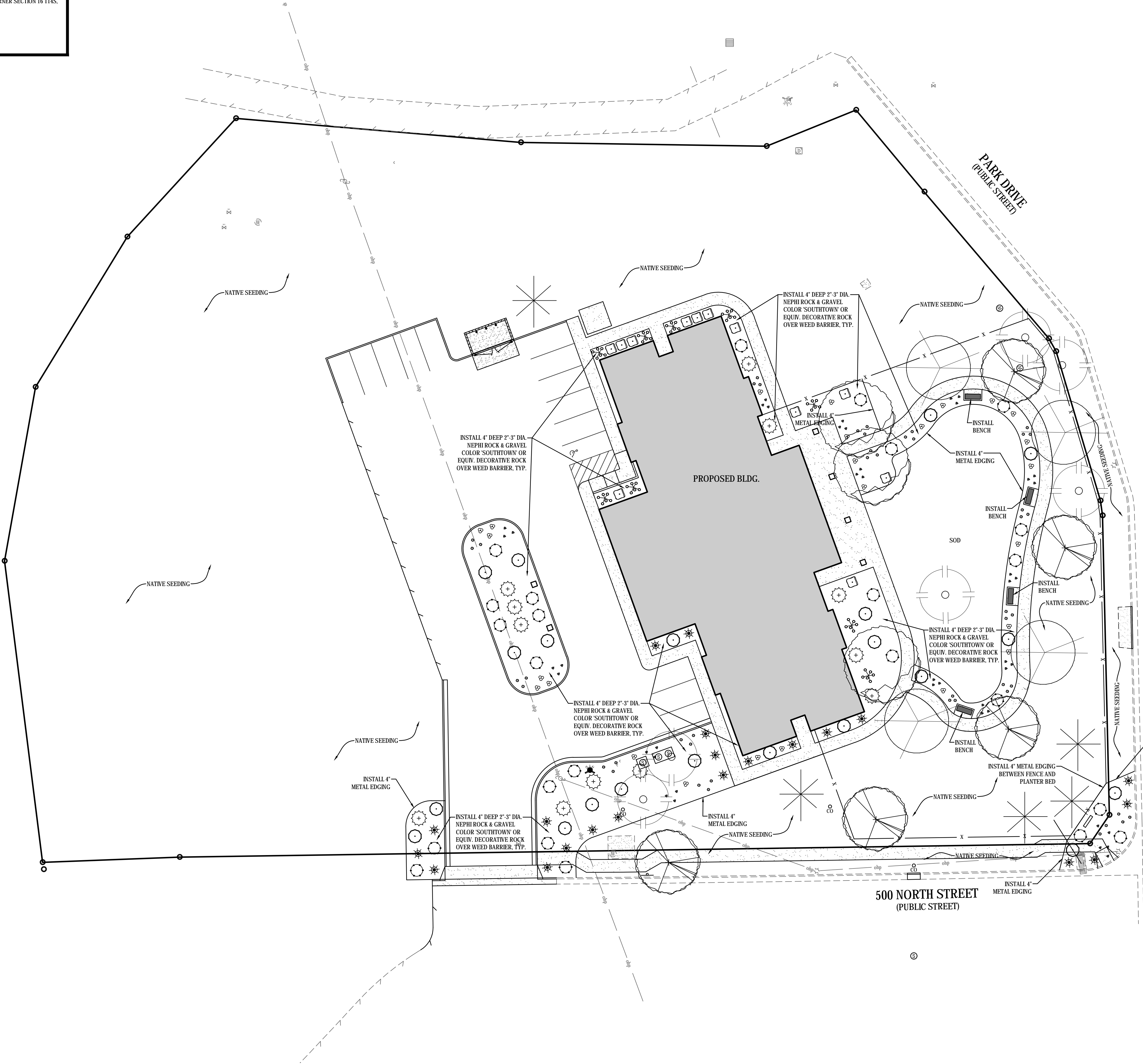
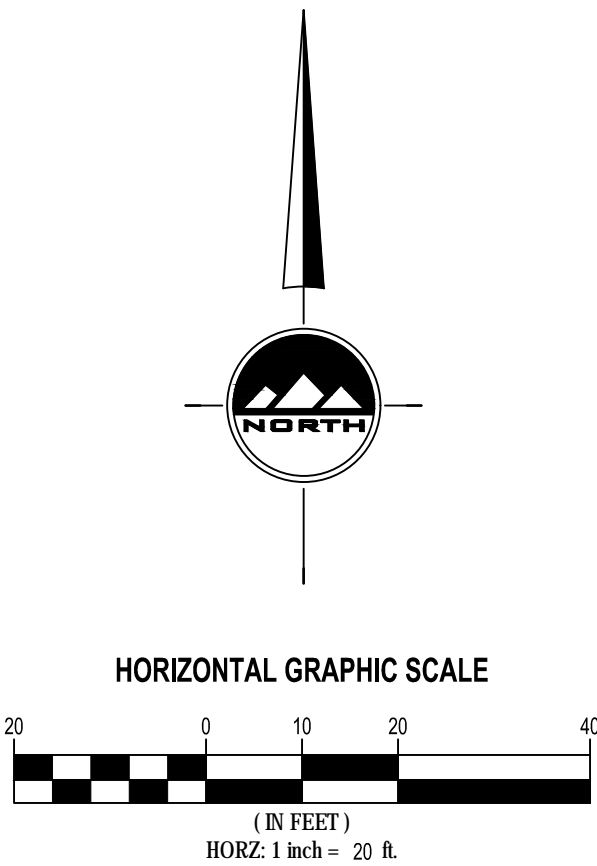
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NORTH QUARTER CORNER SECTION 16 T14S,
R10E SLB&M (FOUND)

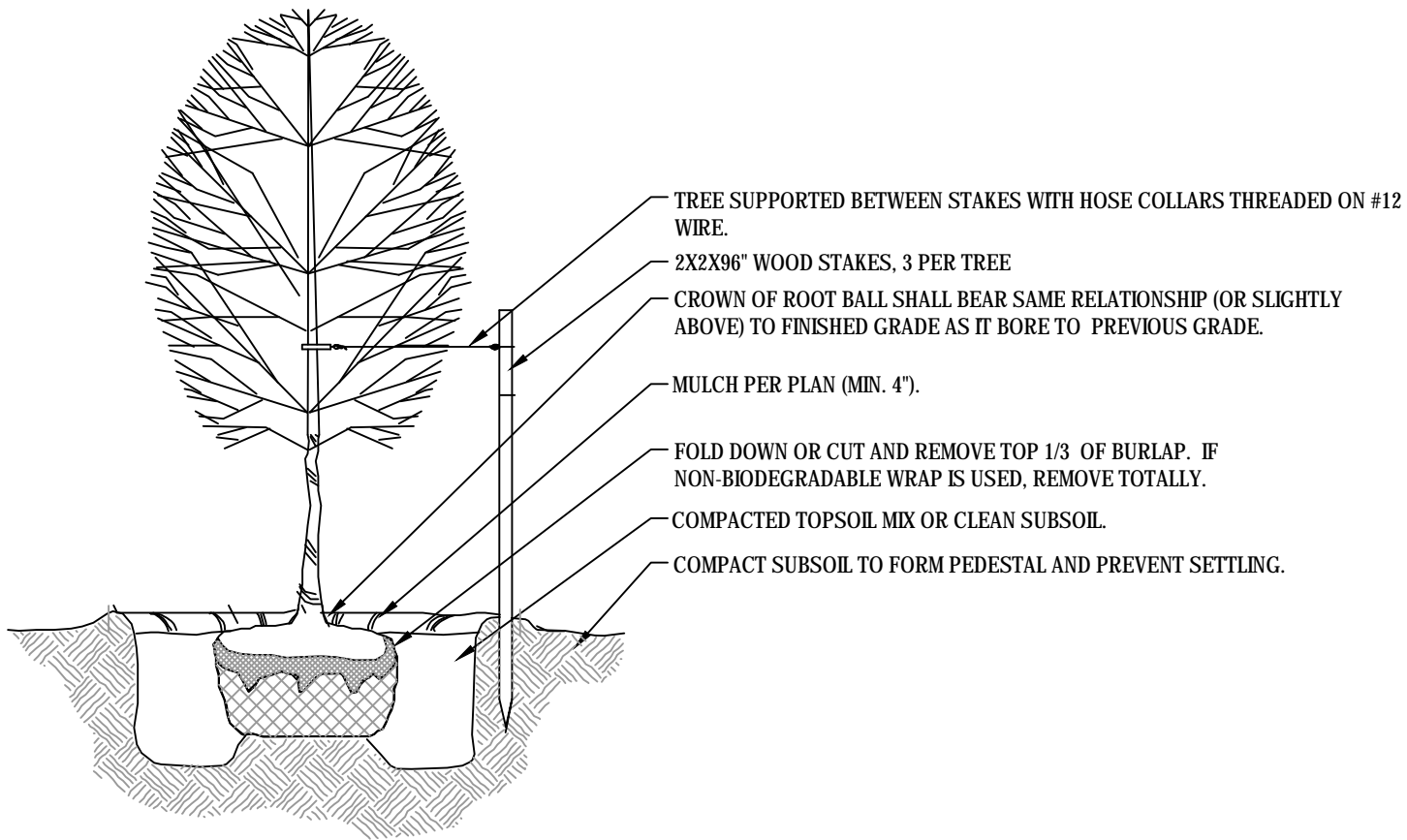
ELEVATION = 5688.15

GENERAL LANDSCAPE NOTES:

- LANDSCAPE CONTRACTOR HAS THE OPTION TO SUBSTITUTE PLANT MATERIAL IF SPECIFIED GENUS, SPECIES, AND/OR VARIETIES ARE NOT LOCALLY OR REGIONALLY AVAILABLE. LANDSCAPE CONTRACTOR SHALL REPLACE SAID PLANTS WITH THOSE OF LIKE HARDINESS, ZONE, SIZE, FORM, MOISTURE AND SOLAR REQUIREMENTS, AND MEET THE GENERAL INTENT OF THE ORIGINAL DESIGN. ANY REPLACEMENT PLANTINGS SHALL BE APPROVED BY ENSIGN ENGINEERING AND LAND SURVEYING INC. OR PROJECT REPRESENTATIVE PRIOR TO INSTALLATION. ALL REPLACEMENT PLANT MATERIALS SHALL CONFORM TO CITY APPROVED PLANTS. ALL PLANTING SUBSTITUTION WILL BE APPROVED BY CITY.
- LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- NOTIFY LANDSCAPE REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERTILIZER.
- MULCH, PER PLAN, SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
- LANDSCAPE CONTRACTOR SHALL INSTALL AN UNDERGROUND, POP-UP IRRIGATION SYSTEM WHICH PROVIDES COMPLETE COVERAGE OF THE SITE AND MEETS COUNTY/CITY REQUIREMENTS AT OR BEFORE THE INSTALLATION OF LANDSCAPE MATERIALS.
- ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-1986)
- CONTRACTOR SHALL USE AVAILABLE SUITABLE TOPSOIL THAT HAD BEEN STOCKPILED ONSITE. IF QUANTITIES ARE NOT SUFFICIENT TO MEET SITE MINIMUMS CONTRACTOR SHALL PROVIDE ADDITIONAL MATERIALS. ADDITIONAL MATERIAL SHALL BE SUPPLIED BY A COMMERCIAL TOPSOIL SUPPLIER
- PROVIDE THE FOLLOWING TOP SOIL MINIMUMS:
A. 4" TOPSOIL IN ALL SOD AREAS
B. 6" TOP SOIL IN ALL PLANTER BEDS
- WEED FABRIC SHALL BE A DEWITT SUNBELT WOVEN GROUND COVER INSTALLED W/ GROUND STAPLES ACCORDING TO MANUFACTURER RECOMMENDATIONS.

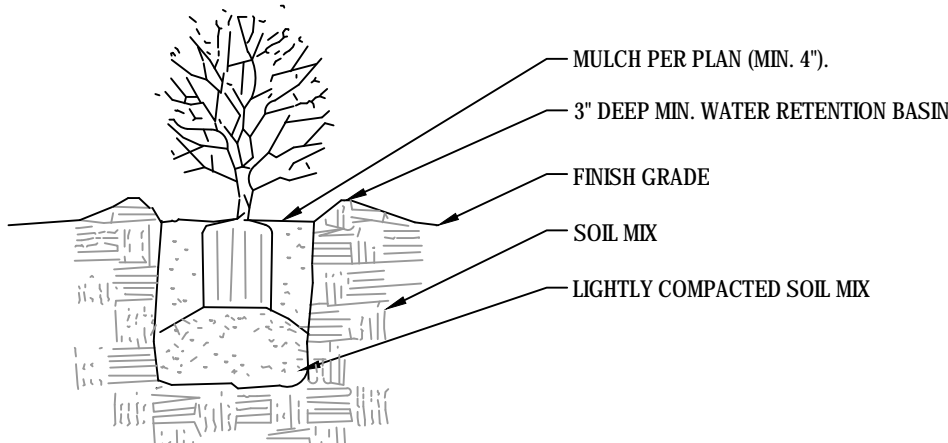
IRRIGATION NOTES:

- IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED CONTRACTOR AND EXPERIENCED WORKMEN. CONTRACTOR TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS.
- CONTRACTOR TO CONFIRM THE LOCATION OF EXISTING UTILITIES PRIOR TO ANY EXCAVATION. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY OR DURING THE PERFORMANCE OF HIS WORK AT NO ADDITIONAL COST.
- PARALLEL PIPES MAY BE INSTALLED IN A COMMON TRENCH. PIPES ARE NOT TO BE INSTALLED ONE ABOVE THE OTHER.
- TRENCHES ARE TO BE DEEP ENOUGH TO ALLOW FOR 18" MIN. COVER, ON MAIN LINES AND 12" MIN. COVER ON LATERAL LINES. BACKFILL TO BE WATERED IN AND COMPACTED.
- ALL MAIN AND LATERAL LINES SHALL BE SCHEDULE 40 PVC PIPE.
- ALL ELECTRICAL VALVES SHALL BE INSTALLED IN VALVE BOXES WITH LOCKING LIDS.
- DIRECT BURIAL 14 GAGE WIRE WITH SPEARS DRI-SPLICE CONNECTORS (OR EQUAL) SHALL BE USED. 6" SEPERATION BETWEEN MAIN LINE & WIRE EITHER BELOW PIPE OR TO SIDE.
- CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE PROPER COVERAGE OF ALL IRRIGATED AREAS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING ALL LINES AND SHALL INSTALL MANUAL DRAINS AT ALL VALVE MANIFOLDS AND AT ALL LOW POINTS ON MAIN LINES. MANUAL VALVES SHALL BE INSTALLED IN WELL MARKED VALVE BOXES WITH LOCKING LIDS. KING AUTOMATIC DRAIN VALVES TO BE INSTALLED AT ALL LOW POINTS ON LATERAL LINES. CONTRACTOR TO INSTALL QUICK COUPLER VALVE AT ALL VALVE MANIFOLD LOCATIONS.
- ALL SPRINKLER LINES AND CONTROL WIRES CROSSING UNDER PAVED AREAS SHALL BE INSTALLED IN A SLEEVE TWICE THE SIZE OF THE PIPE.
- FLUSH MAIN LINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF HEADS. MAIN LINES TO BE INSPECTED FOR LEAKS UNDER FULL PRESSURE PRIOR TO BACKFILLING TRENCHES.
- CONTRACTOR TO MAINTAIN A SET OF "AS BUILT" DRAWINGS, A REPRODUCABLE COPY OF WHICH WILL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE UPON COMPLETION.
- THE OWNER RESERVES THE RIGHT TO REJECT MATERIAL OR WORK WHICH DOES NOT CONFORM TO THESE DRAWINGS. REJECTED WORK SHALL BE REMOVED OR CORRECTED AT CONTRACTOR'S EXPENSE.



9 TREE PLANTING DETAIL

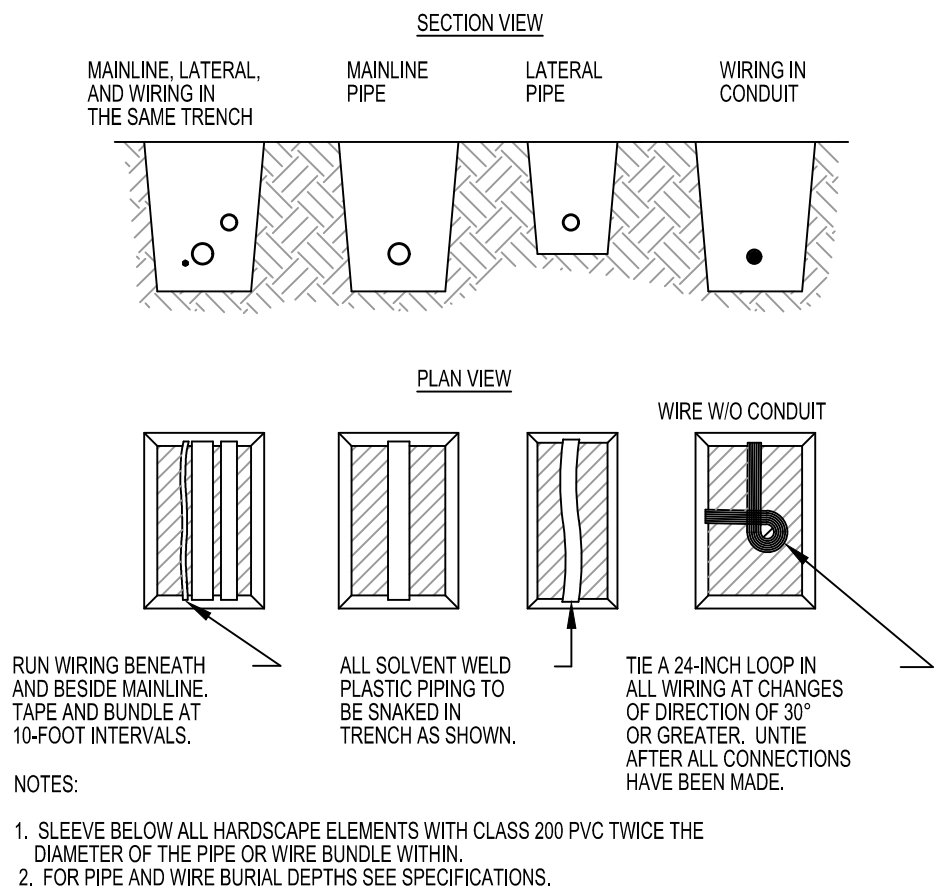
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TYPICAL PLANTING PIT DEPTH = 2 X DEPTH OF BALL
TYPICAL WIDTH = 2 X WIDTH OF BALL

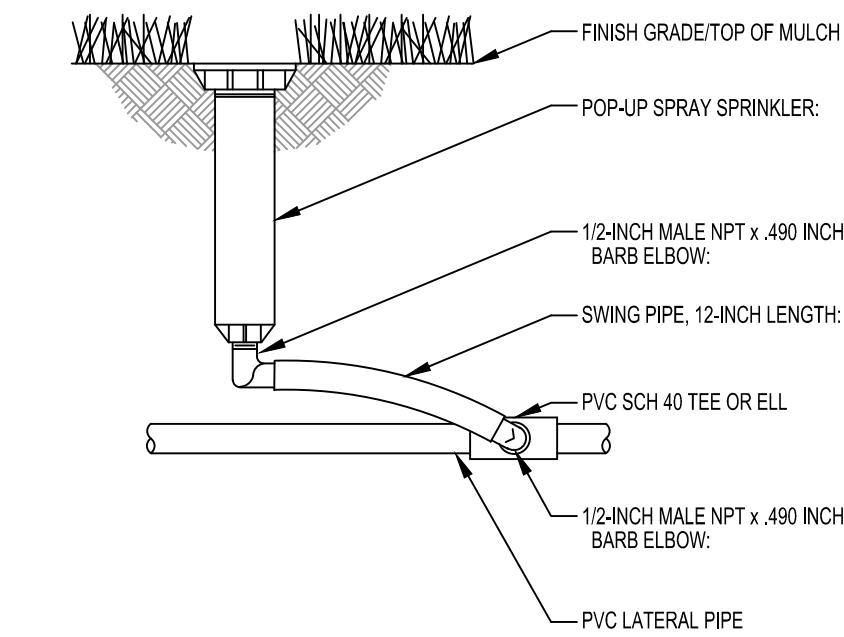
10 SHRUB PLANTING DETAIL

SCALE: NONE



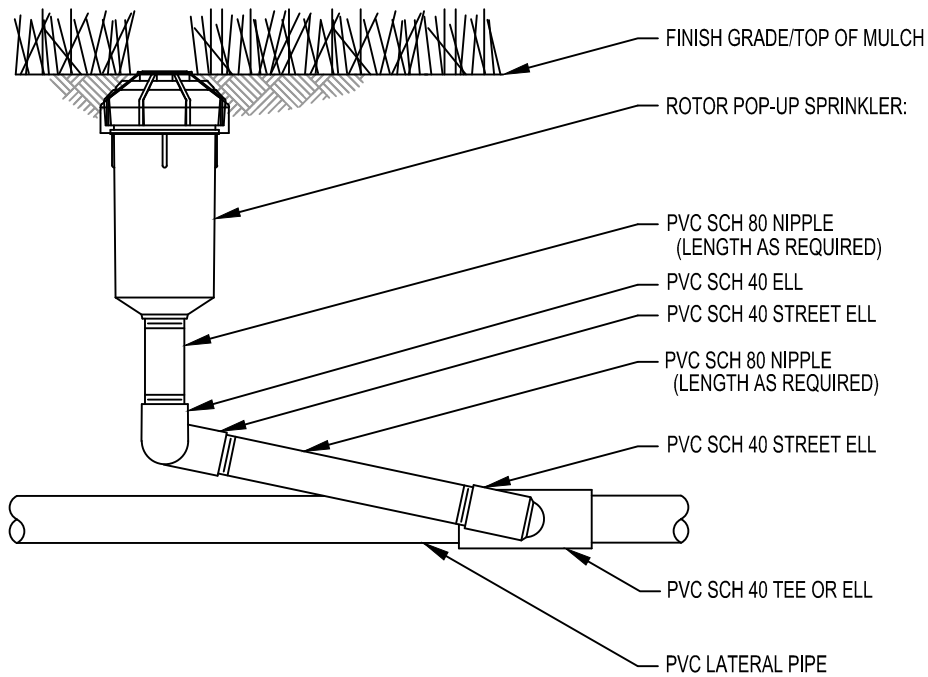
5 PIPE AND WIRE TRENCHING

SCALE: NONE



6 POP-UP SPRAY SPRINKLER

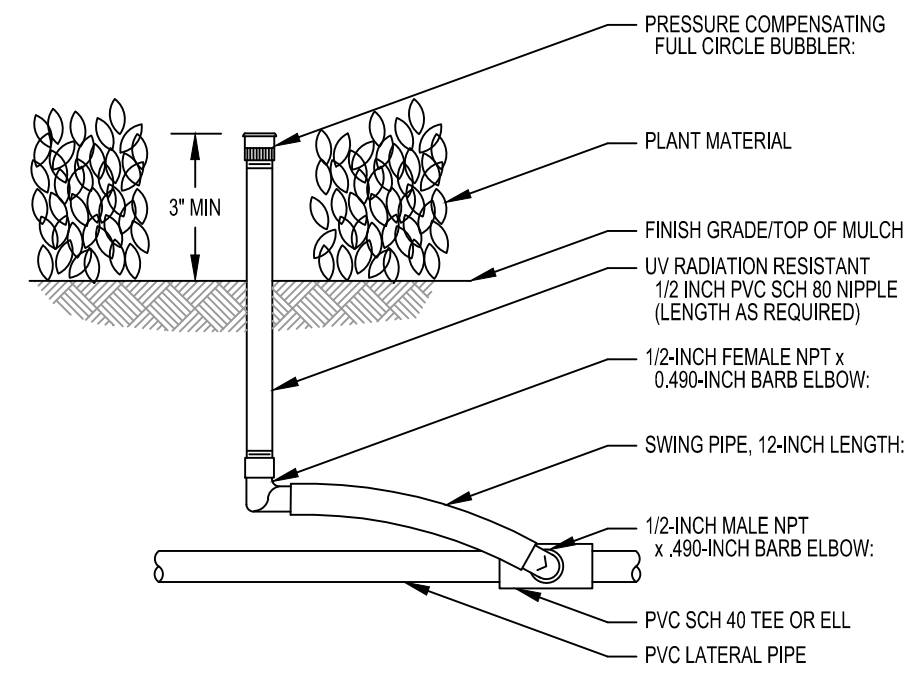
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NOTE:
1. A SWING PIPE ASSEMBLY MAY BE USED WITH FLOWS LESS THAN 4 GPM.

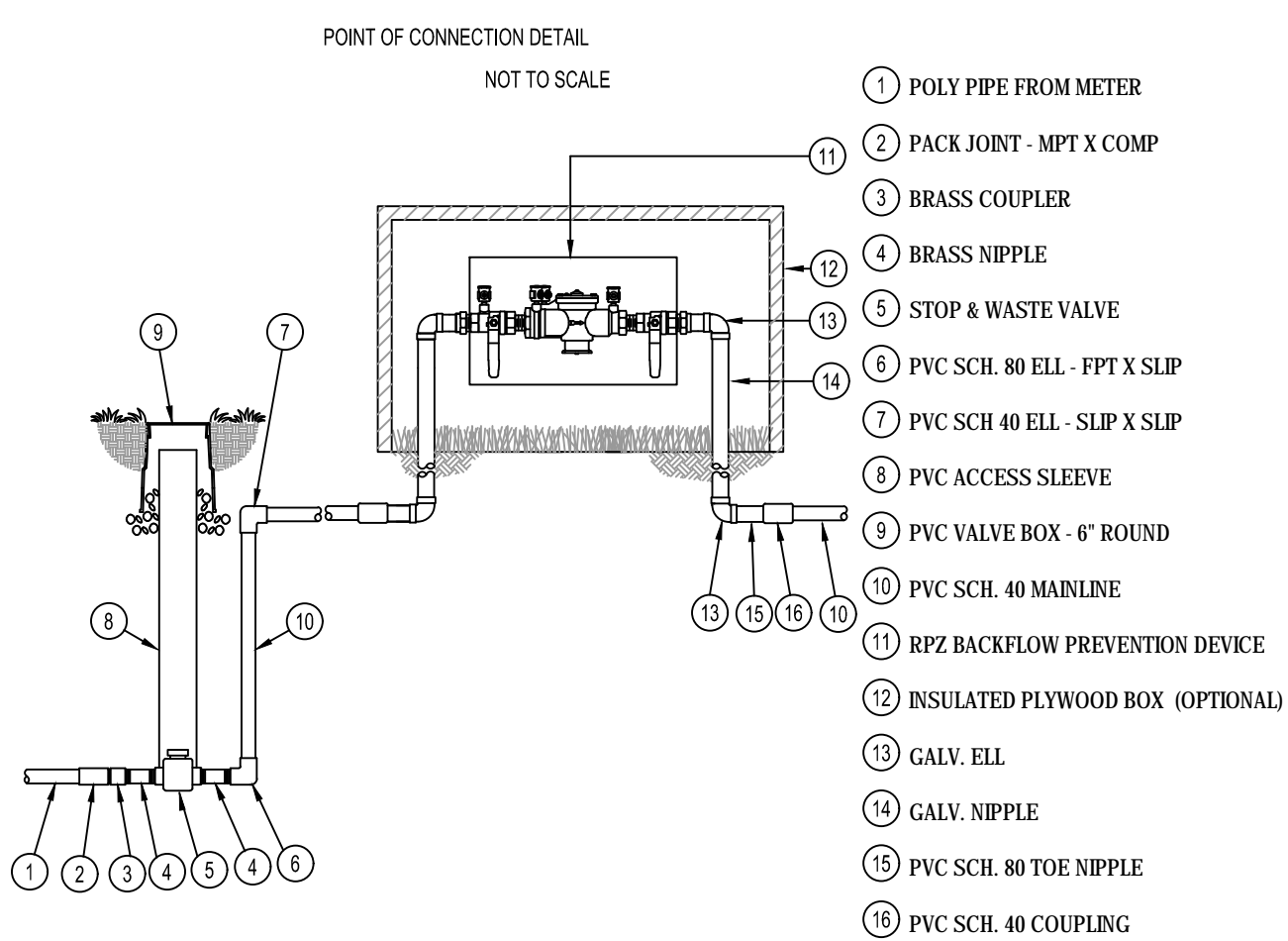
7 ROTOR POP-UP HEAD

SCALE: NONE



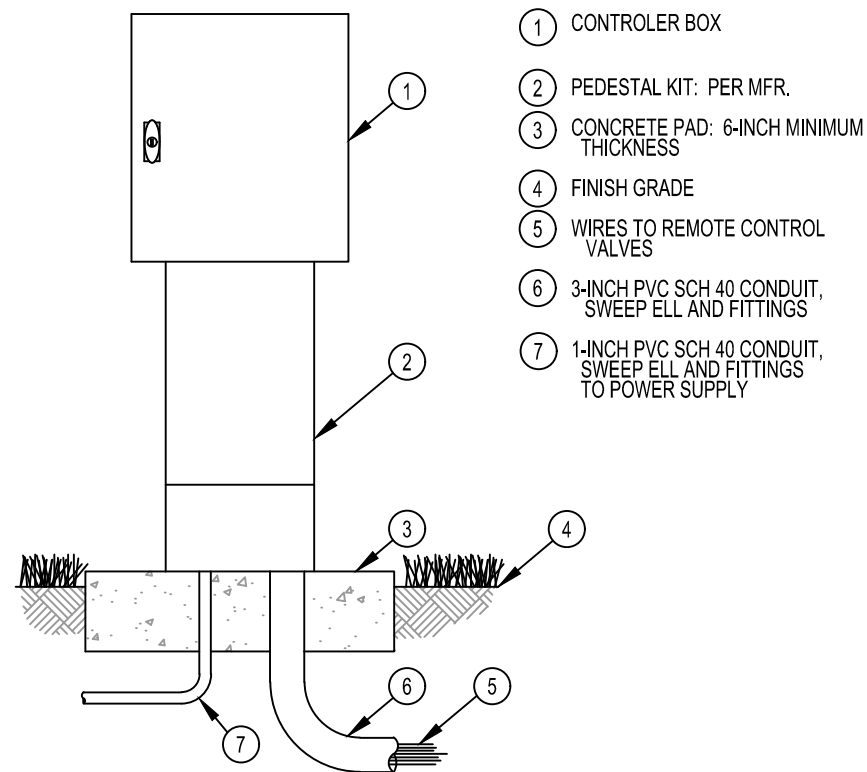
8 BUBBLER DETAIL

SCALE: NONE



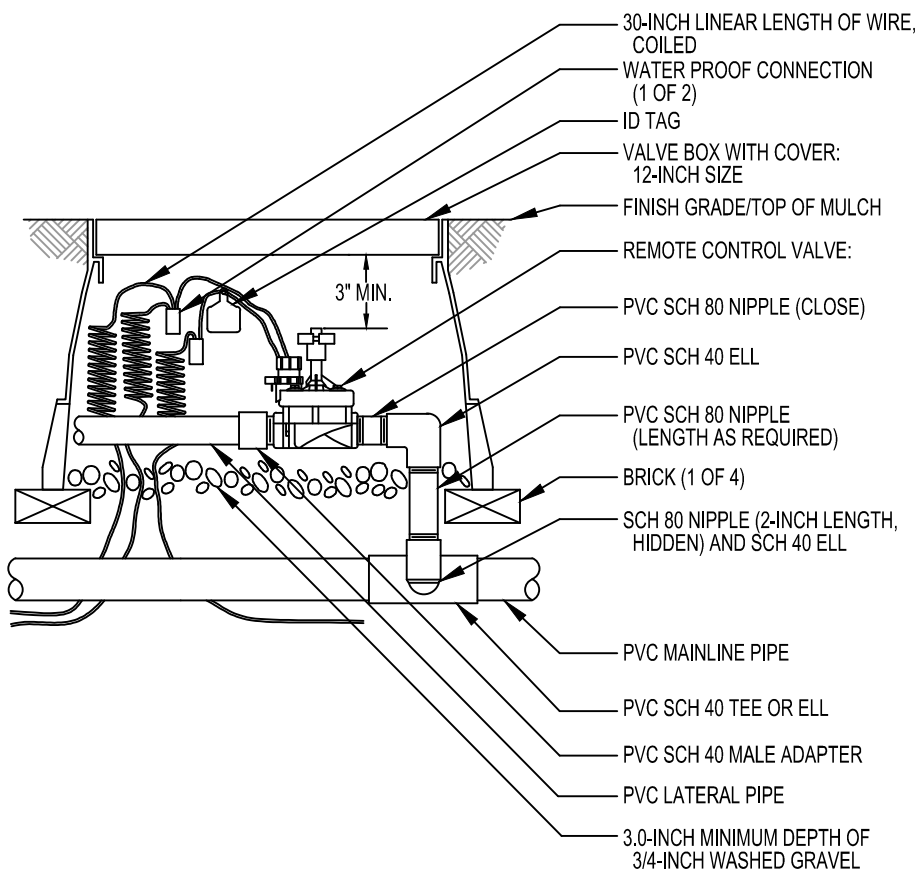
1 BACKFLOW PREVENTER

SCALE: NONE



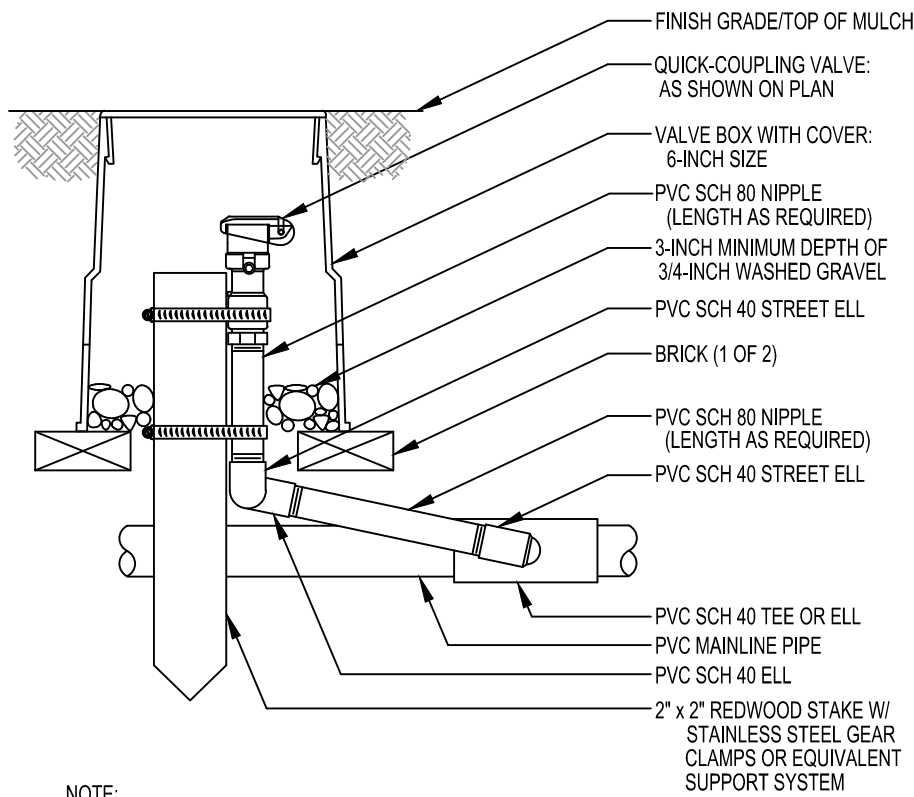
2 IRRIGATION CONTROLLER

SCALE: NONE



3 CONTROL VALVE

SCALE: NONE



NOTE:
1. FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

4 QUICK-COUPLING VALVE

SCALE: NONE



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NO.	DATE	REVISION	BY
1		FOR REVIEW	
2			
3			
4			
5			
6			
7			
8			

LANDSCAPE AND IRRIGATION DETAILS

PROJECT NUMBER 6803
DRAWN BY

PRINT DATE 3/4/16
CHECKED BY

PROJECT MANAGER

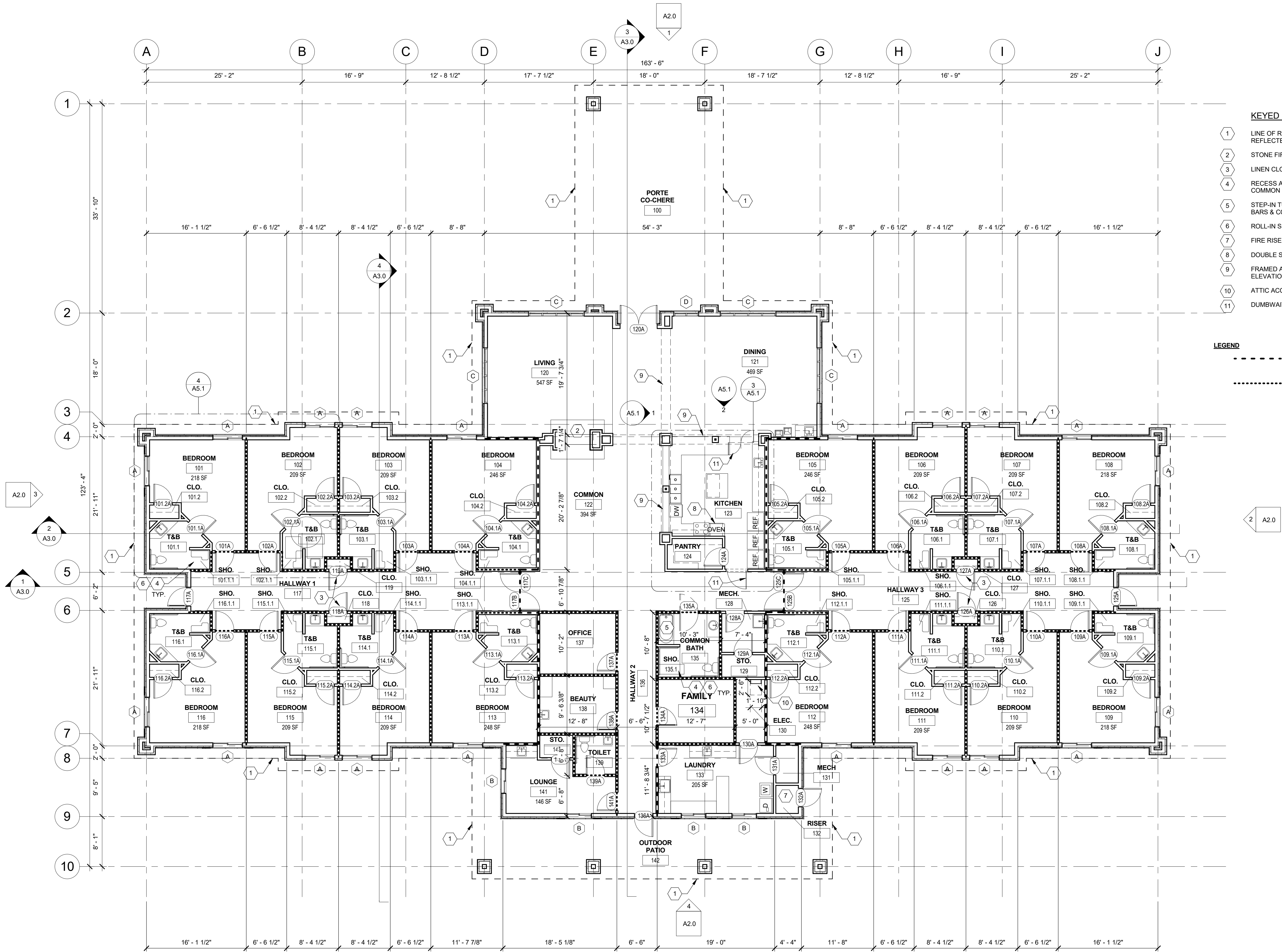
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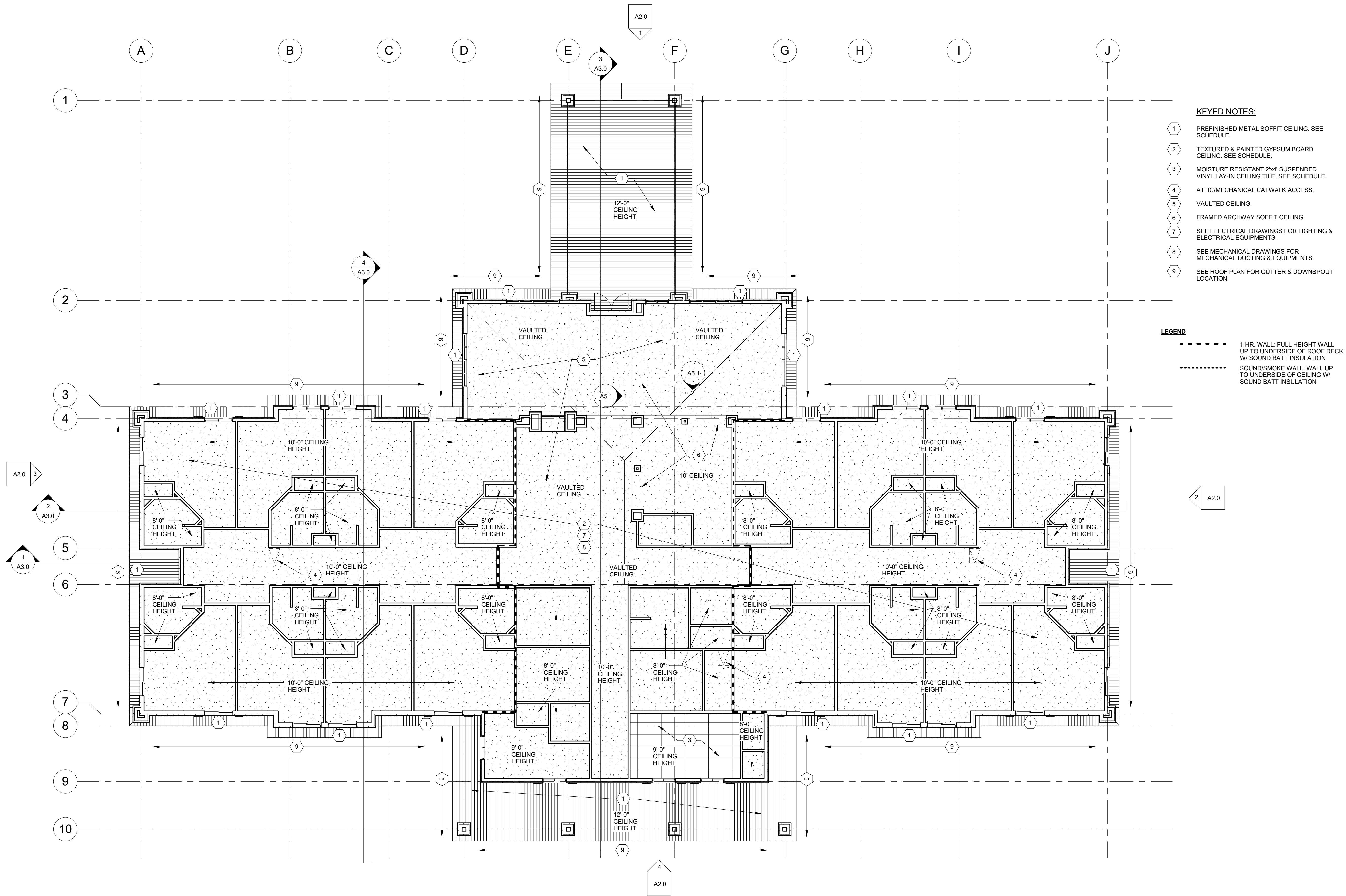
KEYED NOTES:

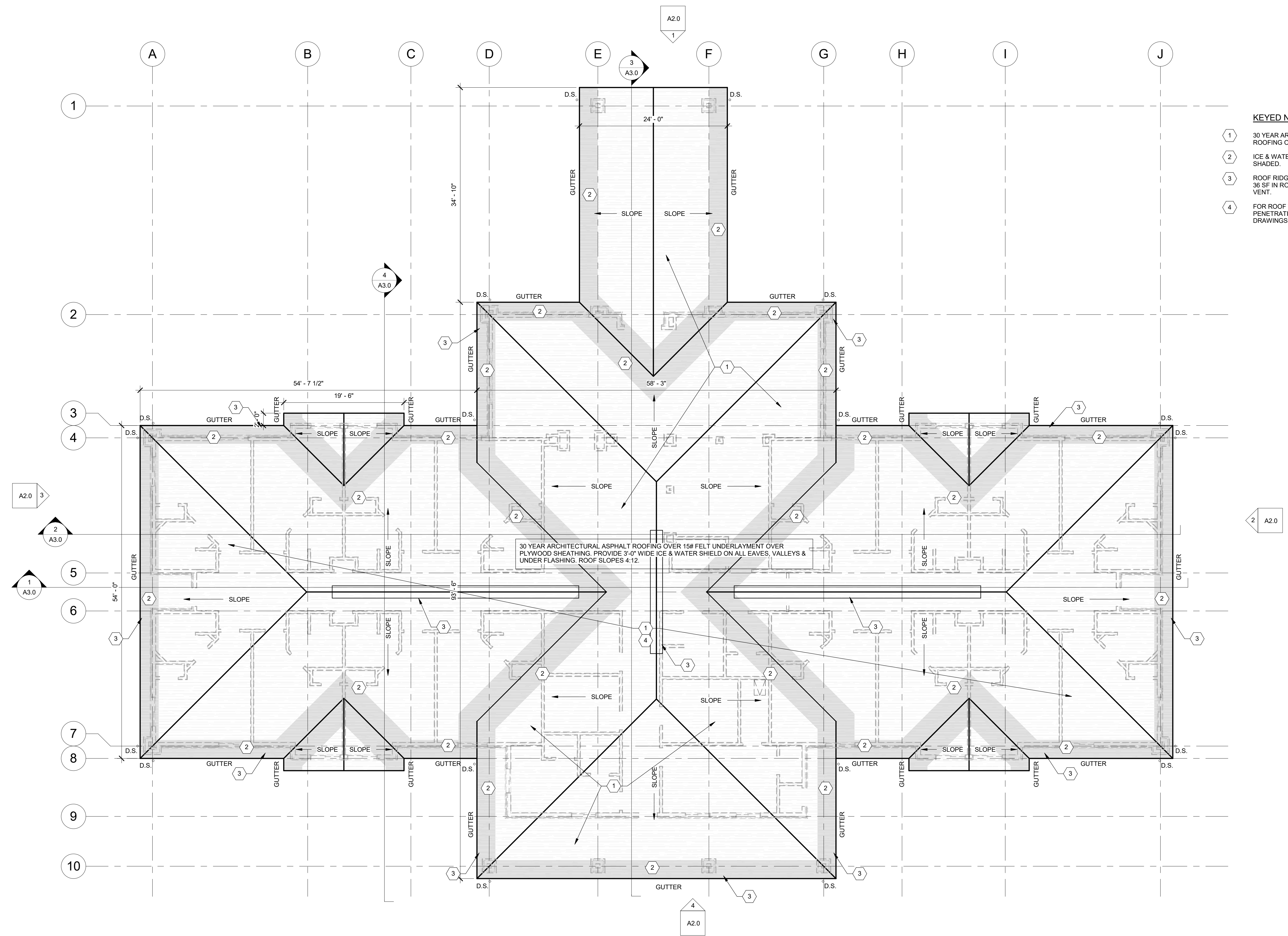
- 1 LINE OF ROOF SOFFIT ABOVE. SEE REFLECTED CEILING PLAN.
- 2 STONE FIREPLACE W/ GAS INSERT.
- 3 LINEN CLOSET W/ 5 MELAMINE SHELVES.
- 4 RECESS ALL CONCRETE FLOOR SLAB AT COMMON SHOWER.
- 5 STEP-IN TUB W/ ACCESSIBLE SEAT, GRAB BARS & CONTROLS.
- 6 ROLL-IN SHOWER.
- 7 FIRE RISER & WATER SHUT OFF.
- 8 DOUBLE STACK RANGE OVEN.
- 9 FRAMED ARCHWAY SOFFIT. SEE INTERIOR ELEVATIONS.
- 10 ATTIC ACCESS.
- 11 DUMBWAITER DOOR

LEGEND

- 1-HR. WALL: FULL HEIGHT WALL UP TO UNDERSIDE OF ROOF DECK W/ SOUND BATT INSULATION
- SOUND/SMOKE WALL: WALL UP TO UNDERSIDE OF CEILING W/ SOUND BATT INSULATION








- KEYED NOTES:**
- 1 30 YEAR ARCHITECTURAL ASPHALT SHINGLE ROOFING OVER 15# ROOFING FELT.
 - 2 ICE & WATER SHIELD BARRIER SHOWN AS SHADED.
 - 3 ROOF RIDGE VENT & SOFFIT VENT. PROVIDE 36 SF IN ROOF RIDGE VENT & 36 SF IN SOFFIT VENT.
 - 4 FOR ROOF TOP MECHANICAL & PLUMBING PENETRATIONS, SEE MECH. & PLUMBING DRAWINGS.

1 **ROOF PLAN**
SCALE: 1/8" = 1'-0"



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**5TH NORTH AND 1ST EAST STREET
PRICE CITY, UTAH**



PERMIT 03/08/16

NO. DATE REVISION

ROOF PLAN

PROJECT NUMBER
6903

DATE
12-31-15

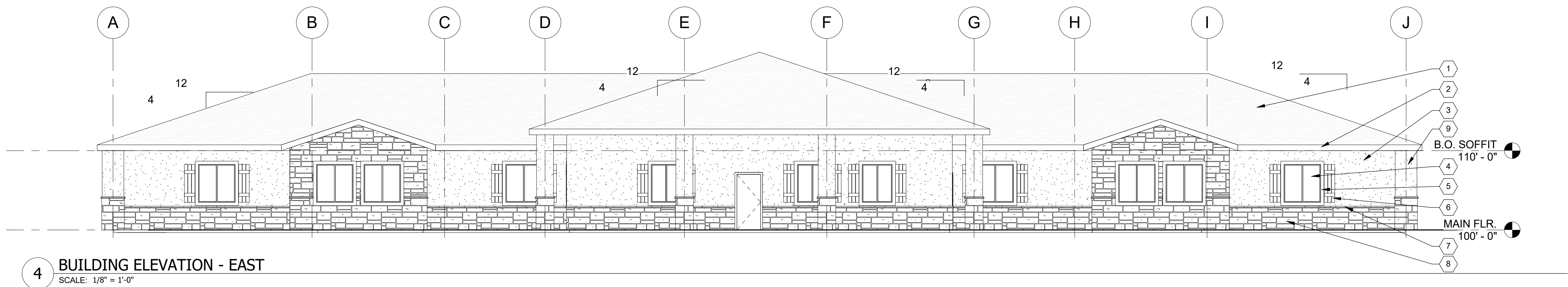
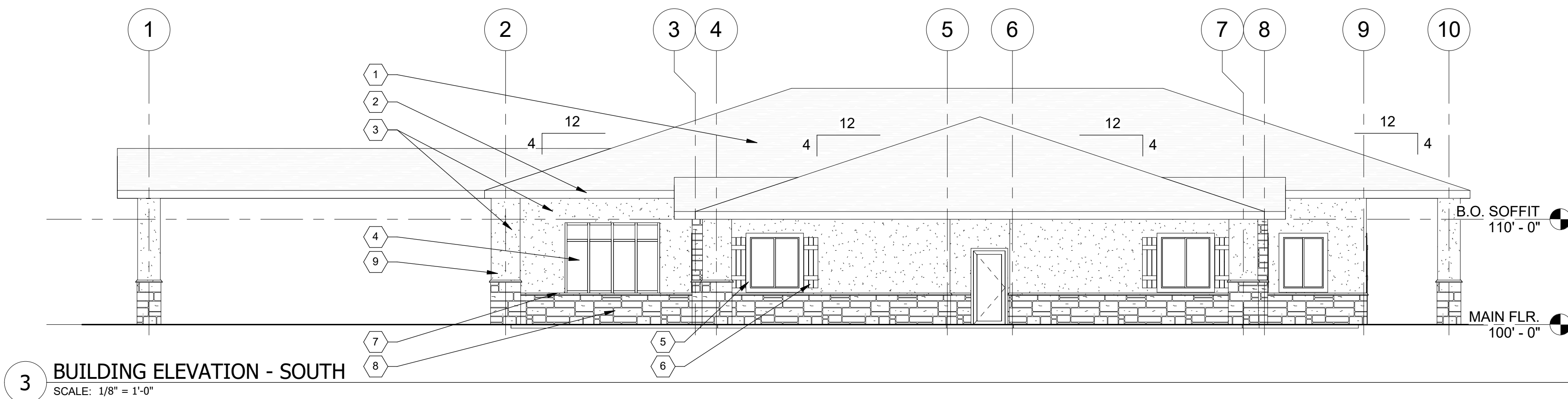
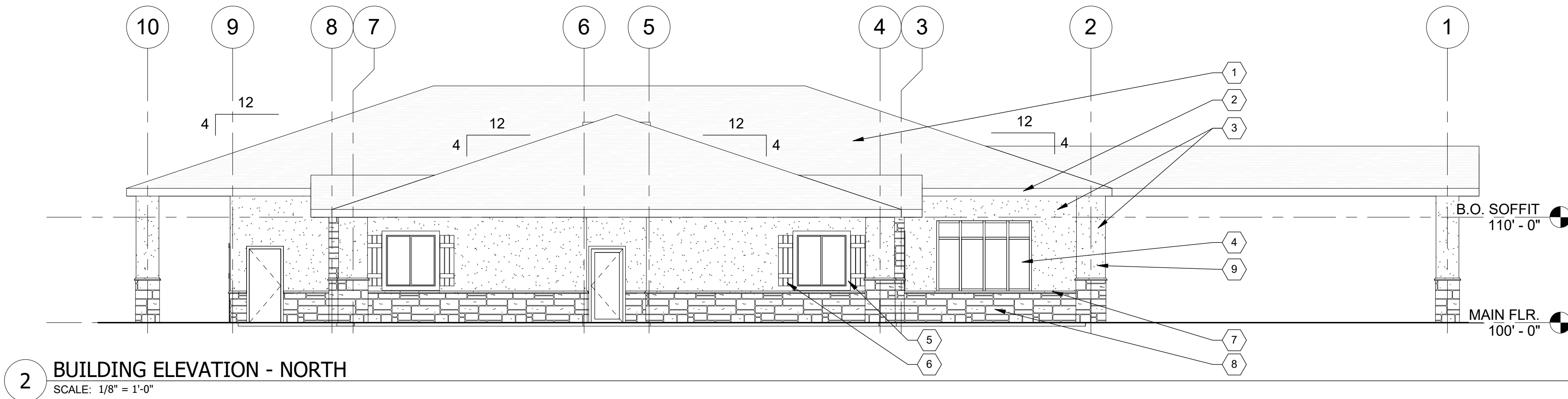
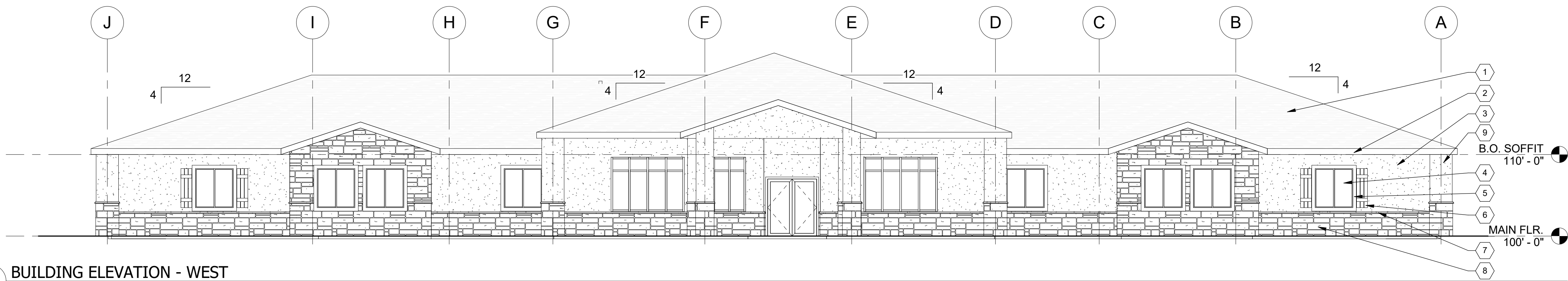
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R. MALIGON

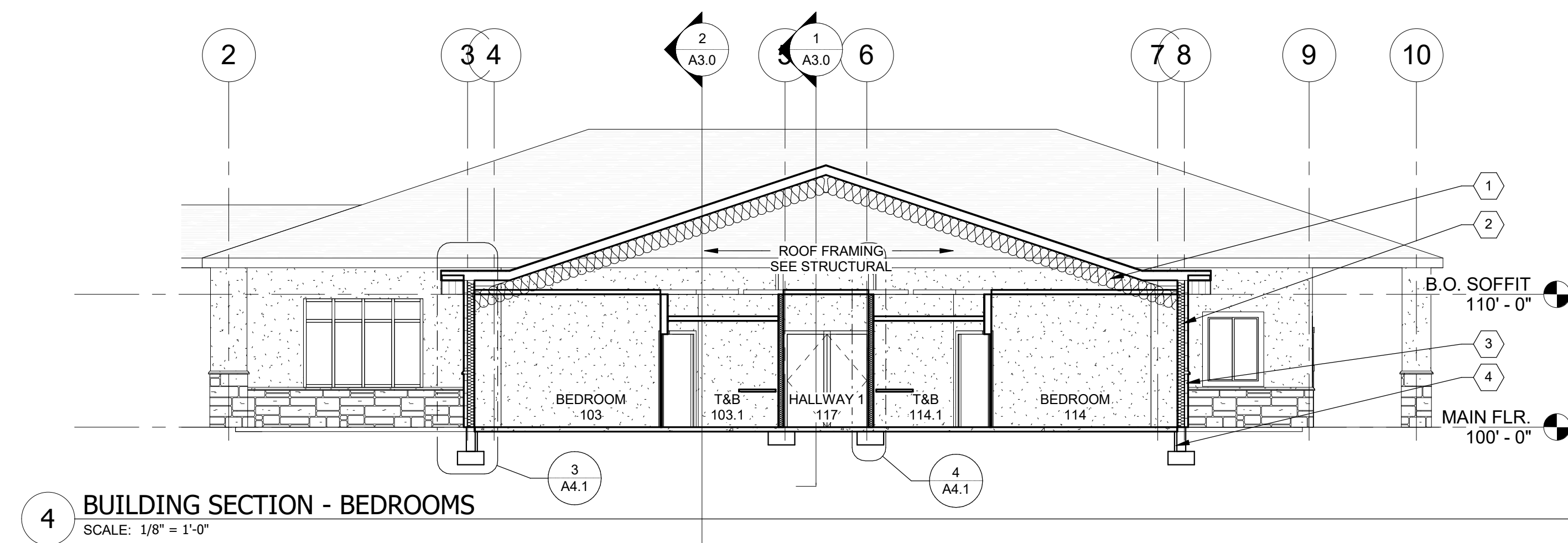
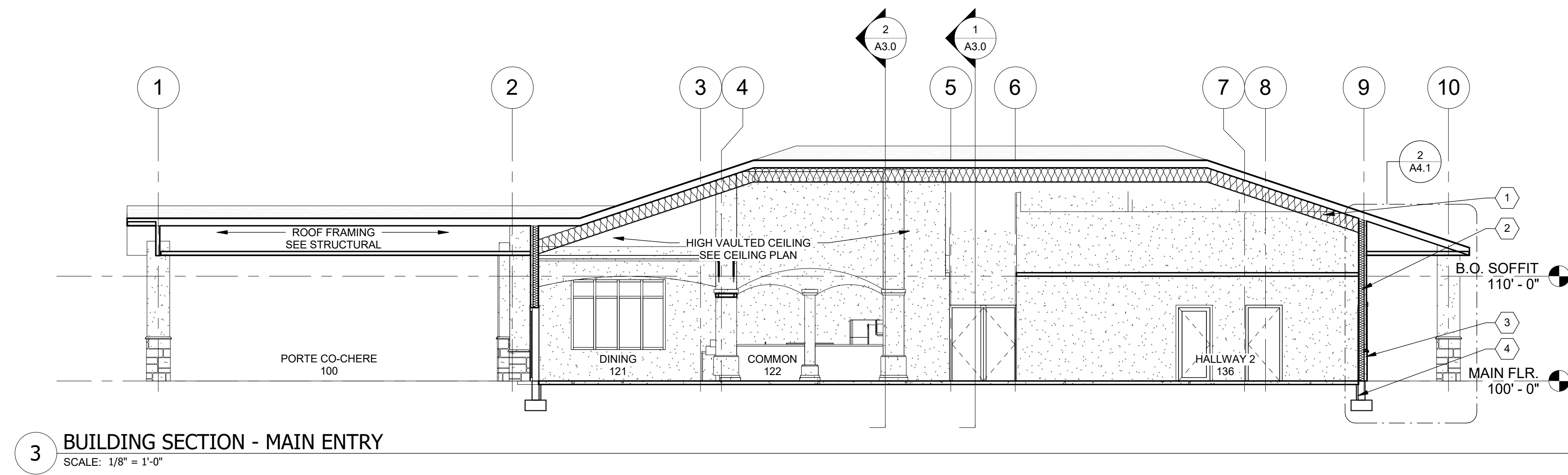
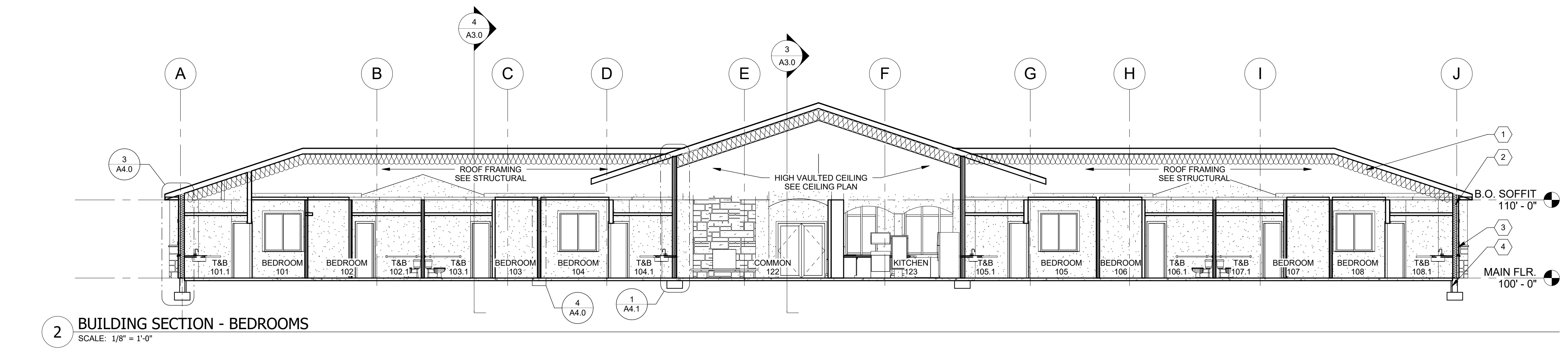
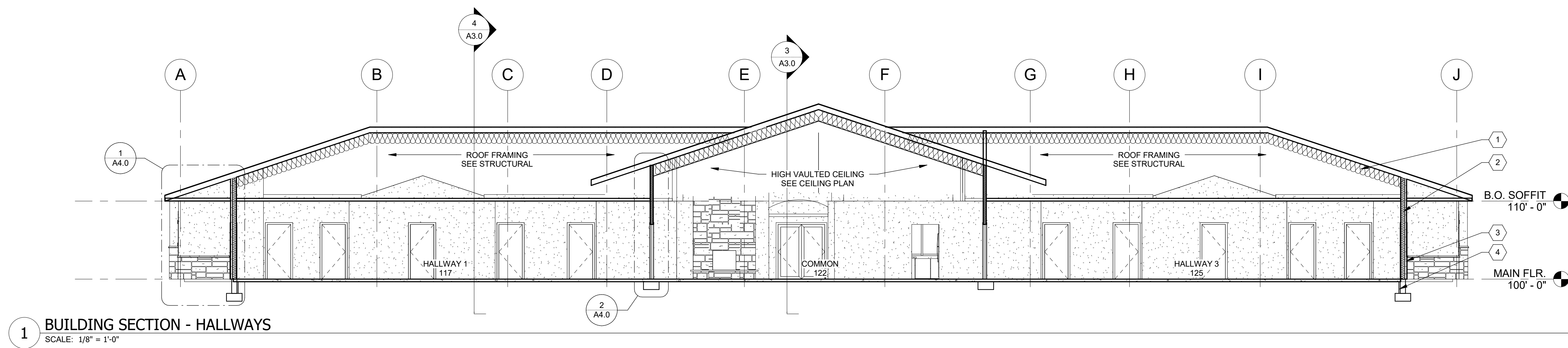
PROJECT ENGINEER
A. HAWKINS

PROJECT MANAGER
C. DUNCAN

A1.2







- KEYED NOTES:**
- 1 R-49 BATT OR BLOWN-IN ROOF/ATTIC INSULATION.
 - 2 R-13 BATT WALL INSULATION.
 - 3 R-3.8 CONTINUOUS RIGID WALL INSULATION.
 - 4 R-10 CONTINUOUS RIGID FOUNDATION INSULATION.

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WALL
SECTIONS

PROJECT NUMBER
6903

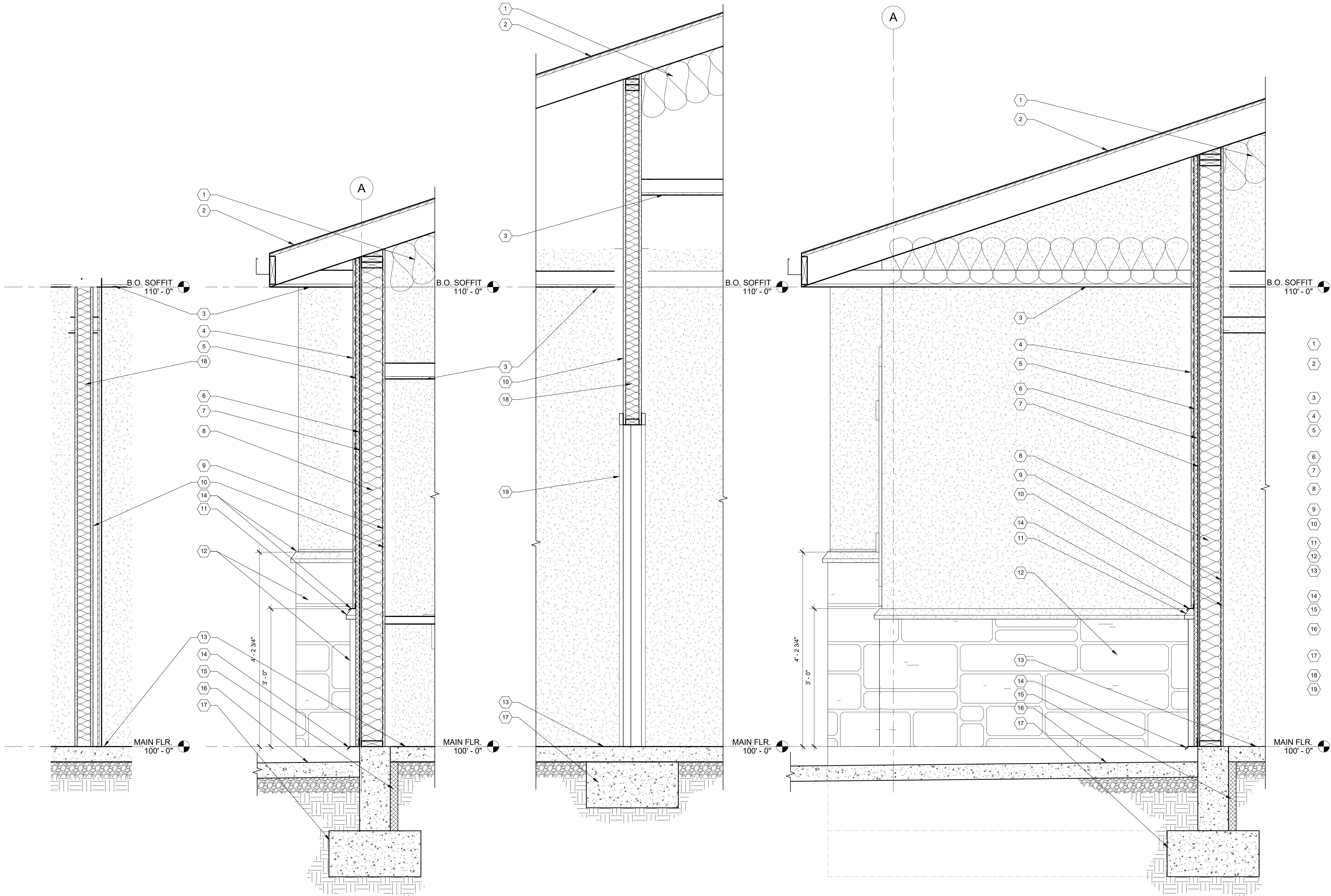
DATE
12-31-15

DRAWN BY
R. MALIGON

PROJECT ENGINEER
A. HAWKINS

PROJECT MANAGER
C. DUNCAN

A4.0



KEYED NOTES:

- 1 ROOFING/ATTIC INSULATION. SEE BUILDING SECTION.
- 2 ASPHALT SHINGLE ROOFING OVER ROOFING FELT OVER PLYWOOD SHEATHING. SEE ROOF PLAN & STRUCTURAL DRAWINGS.
- 3 SOFFIT/CEILING FINISH. SEE REFLECTED CEILING PLAN.
- 4 INTEGRAL COLORED EIFS.
- 5 CONTINUOUS EXTERIOR WALL RIGID INSULATION. SEE BUILDING SECTION.
- 6 AIR & WATER BARRIER.
- 7 PLYWOOD SHEATHING OVER WOOD STUD. SEE STRUCTURAL.
- 8 EXTERIOR WALL BATT INSULATION. SEE BUILDING SECTION.
- 9 MOISTURE BARRIER.
- 10 PAINTED GYPSUM BOARD INTERIOR FINISH.
- 11 PRECAST CONCRETE BULLNOSE.
- 12 CULTURED STONE.
- 13 INTERIOR SLAB, FLOOR & BASE FINISH. SEE FLOOR PLAN, SCHEDULES & STRUCTURAL.
- 14 PREFINISHED DRIP FLASHING.
- 15 FOUNDATION INSULATION. SEE BUILDING SECTION.
- 16 EXTERIOR SLAB/SIDEWALK, SLOPE 1/4" PER 1'-0". SEE CIVIL DRAWINGS.
- 17 FOOTING & FOUNDATION. SEE STRUCTURAL.
- 18 SOUND BATT INSULATION.
- 19 DOOR OR WINDOW. SEE SCHEDULE.

4 WALL SECTION
SCALE: 1" = 1'-0"

3 WALL SECTION
SCALE: 1" = 1'-0"

2 WALL SECTION
SCALE: 1" = 1'-0"

1 WALL SECTION
SCALE: 1" = 1'-0"

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**5TH NORTH AND 1ST EAST STREET
PRICE CITY, UTAH**

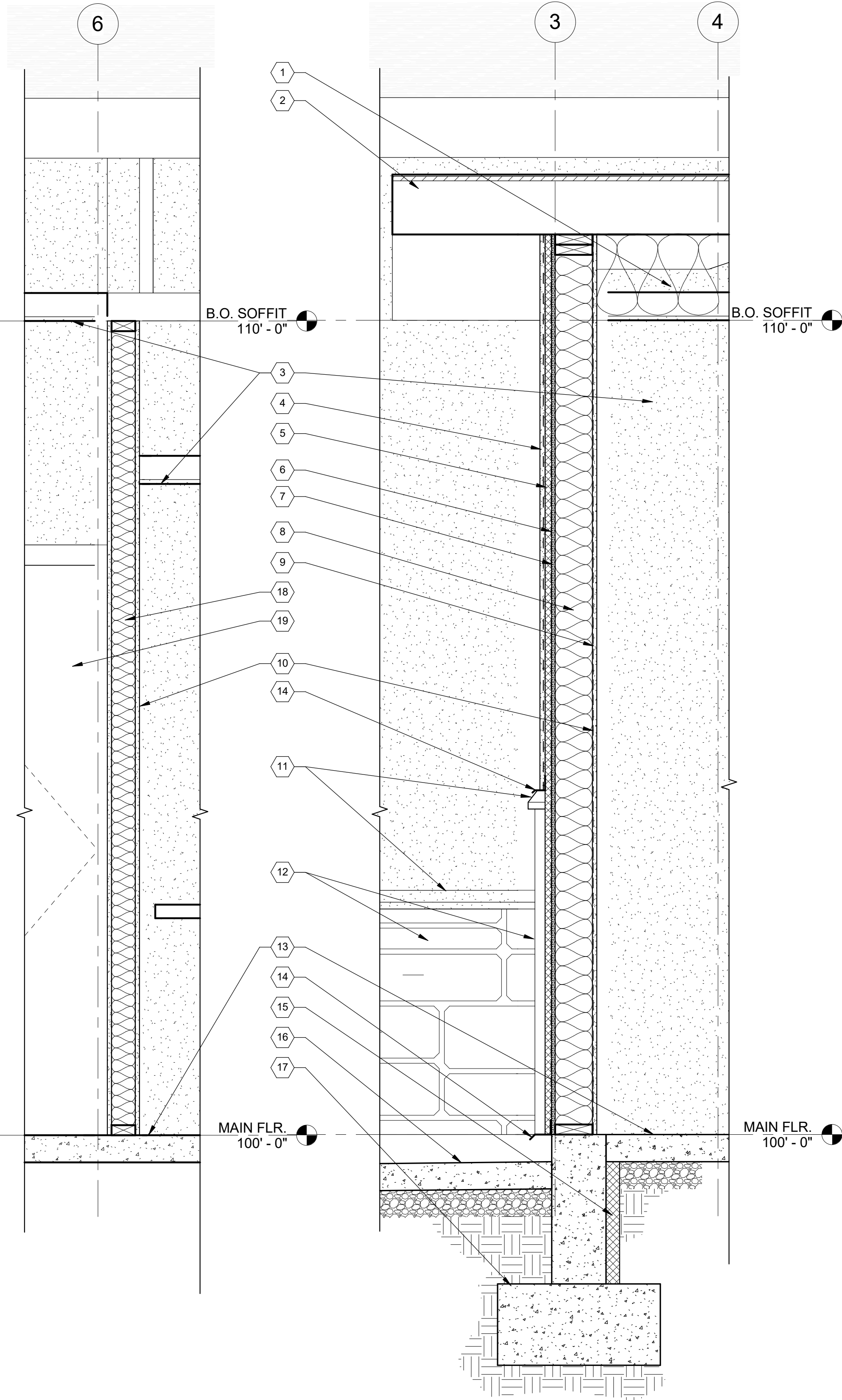


PERMIT 03/08/16
NO. DATE REVISION

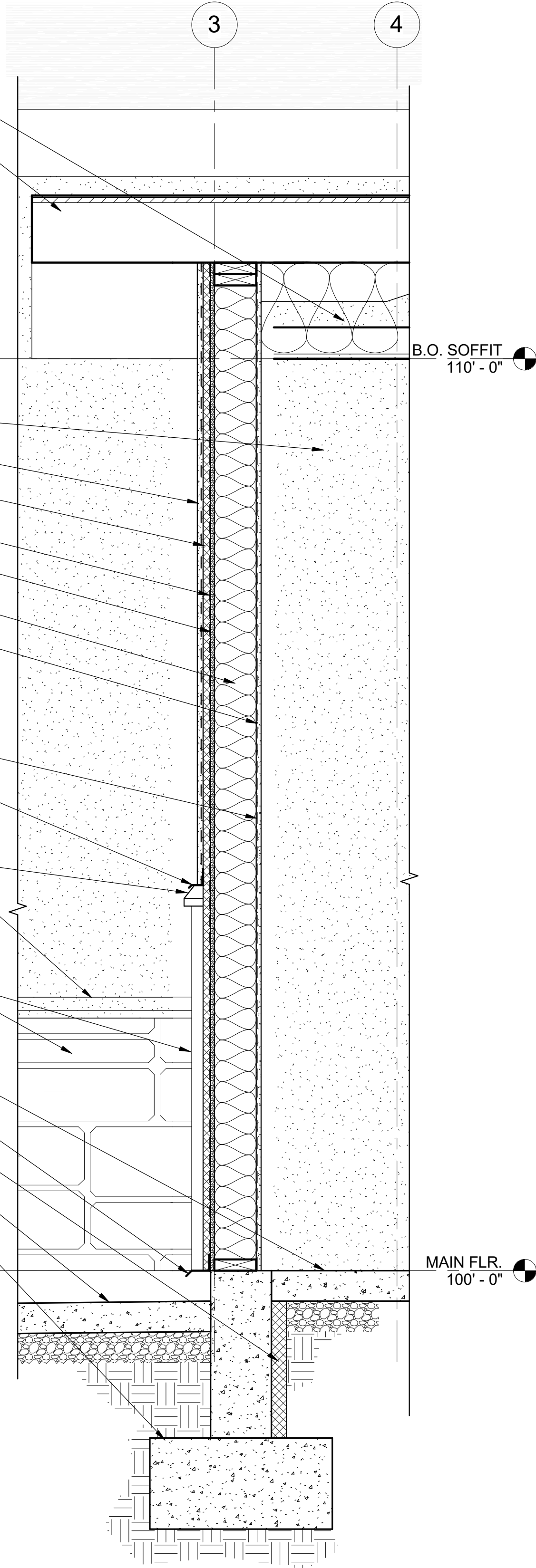
**WALL
SECTIONS**

PROJECT NUMBER
6903
DATE
12-31-15
DRAWN BY
R. MALIGON
PROJECT ENGINEER
A. HAWKINS
PROJECT MANAGER
C. DUNCAN

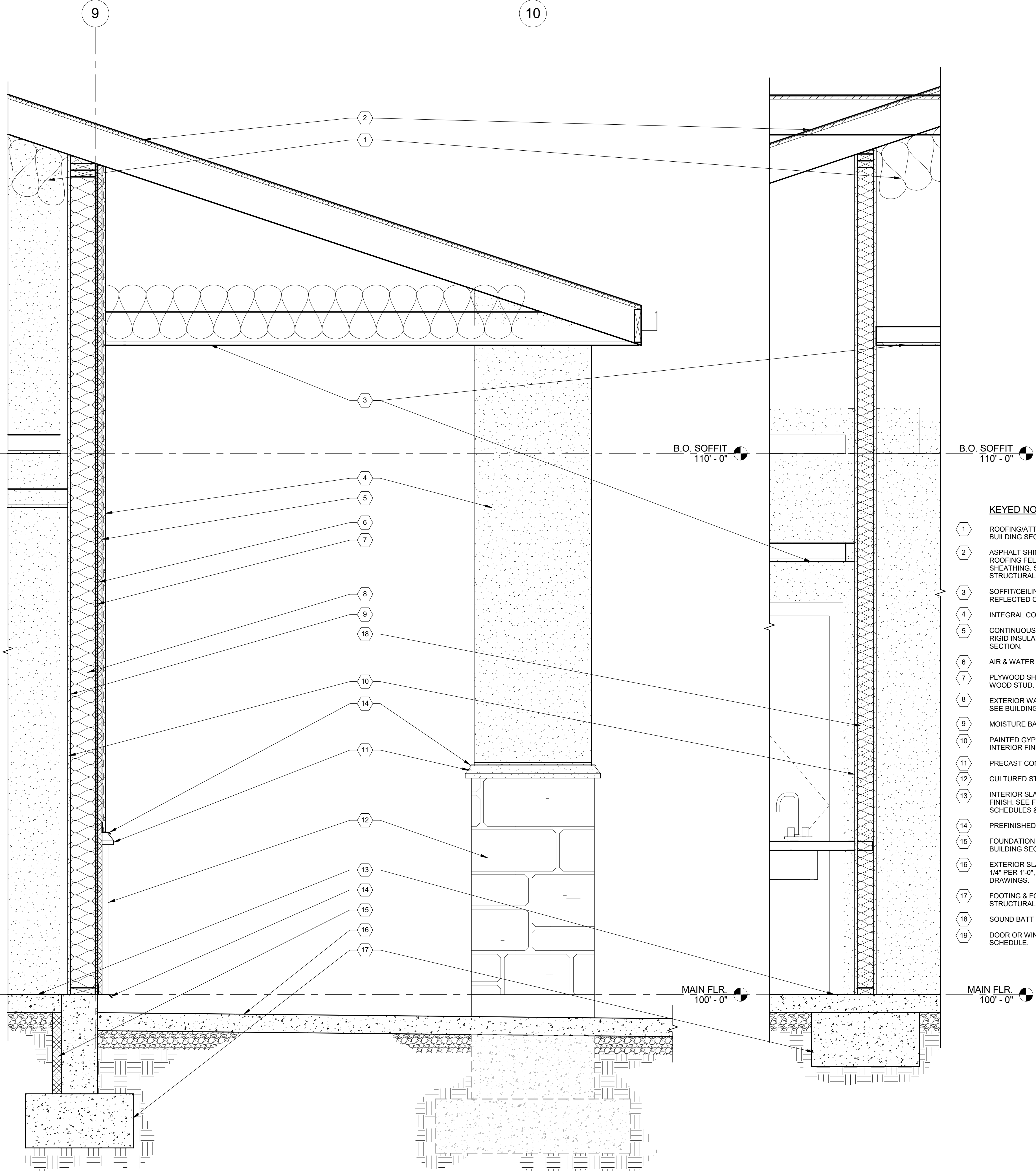
A4.1



4 WALL SECTION
SCALE: 1" = 1'-0"



3 WALL SECTION
SCALE: 1" = 1'-0"



2 WALL SECTION
SCALE: 1" = 1'-0"

B.O. SOFFIT 110' - 0"

MAIN FLR. 100' - 0"

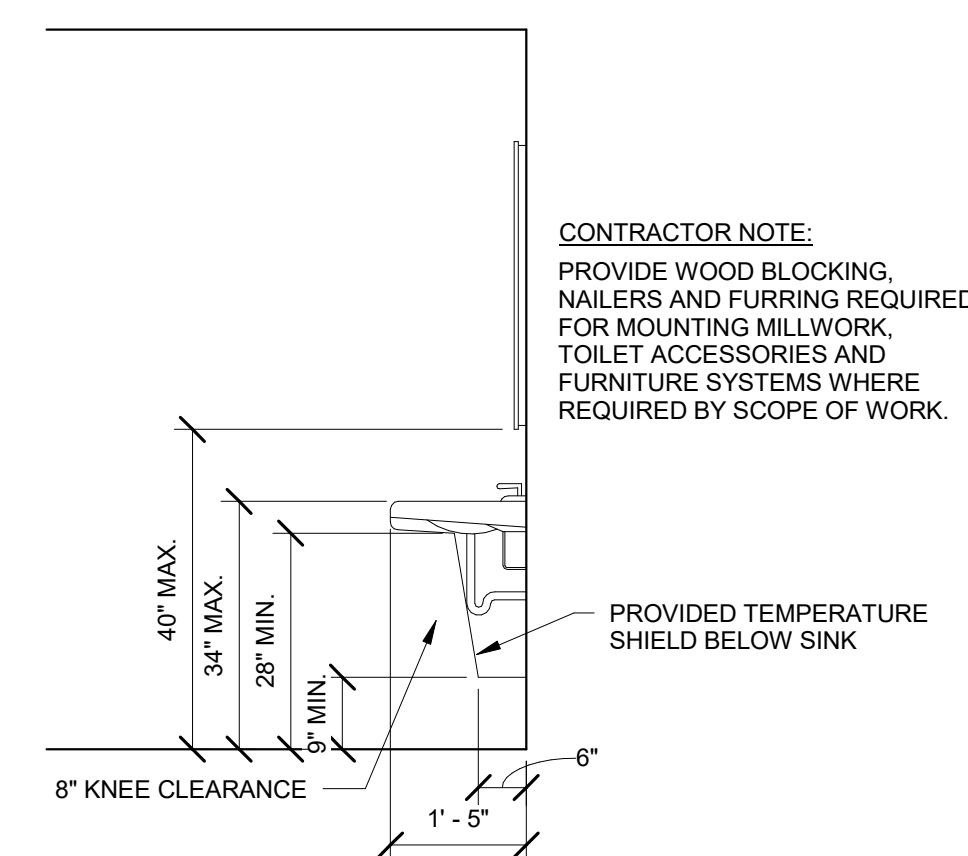
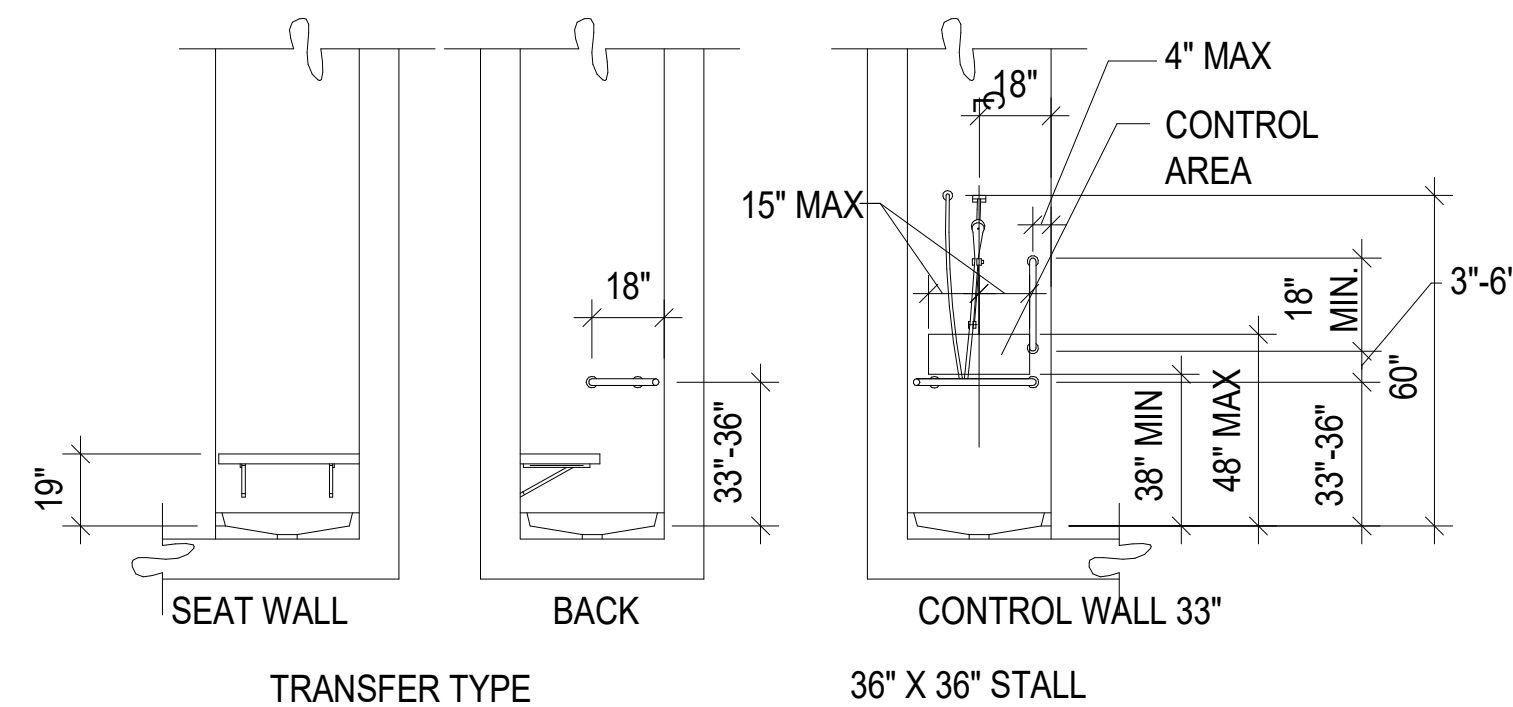
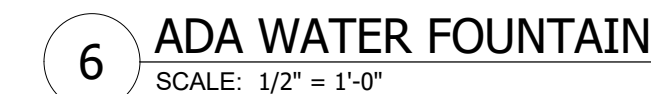
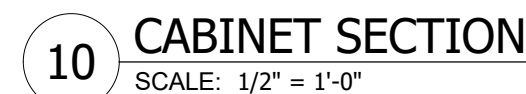
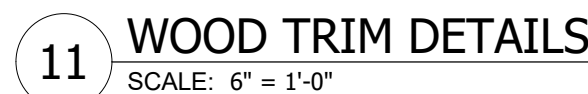
B.O. SOFFIT 110' - 0"

MAIN FLR. 100' - 0"

KEYED NOTES:

- 1 ROOFING/ATTIC INSULATION. SEE BUILDING SECTION.
- 2 ASPHALT SHINGLE ROOFING OVER ROOFING FELT OVER PLYWOOD SHEATHING. SEE ROOF PLAN & STRUCTURAL DRAWINGS.
- 3 SOFFIT/CEILING FINISH. SEE REFLECTED CEILING PLAN.
- 4 INTEGRAL COLORED EIFS.
- 5 CONTINUOUS EXTERIOR WALL RIGID INSULATION. SEE BUILDING SECTION.
- 6 AIR & WATER BARRIER.
- 7 PLYWOOD SHEATHING OVER WOOD STUD. SEE STRUCTURAL.
- 8 EXTERIOR WALL BATT INSULATION. SEE BUILDING SECTION.
- 9 MOISTURE BARRIER.
- 10 PAINTED GYPSUM BOARD INTERIOR FINISH.
- 11 PRECAST CONCRETE BULLNOSE.
- 12 CULTURED STONE.
- 13 INTERIOR SLAB, FLOOR & BASE FINISH. SEE FLOOR PLAN, SCHEDULES & STRUCTURAL.
- 14 PREFINISHED DRIP FLASHING.
- 15 FOUNDATION INSULATION. SEE BUILDING SECTION.
- 16 EXTERIOR SLAB/SIDEWALK, SLOPE 1/4" PER 1'-0", SEE CIVIL DRAWINGS.
- 17 FOOTING & FOUNDATION. SEE STRUCTURAL.
- 18 SOUND BATT INSULATION.
- 19 DOOR OR WINDOW. SEE SCHEDULE.

1 WALL SECTION
SCALE: 1" = 1'-0"



**TENDER CARE HOSPICE
ASSISTED LIVING FACILITY**
**5TH NORTH AND 1ST EAST STREET
PRICE CITY, UTAH**



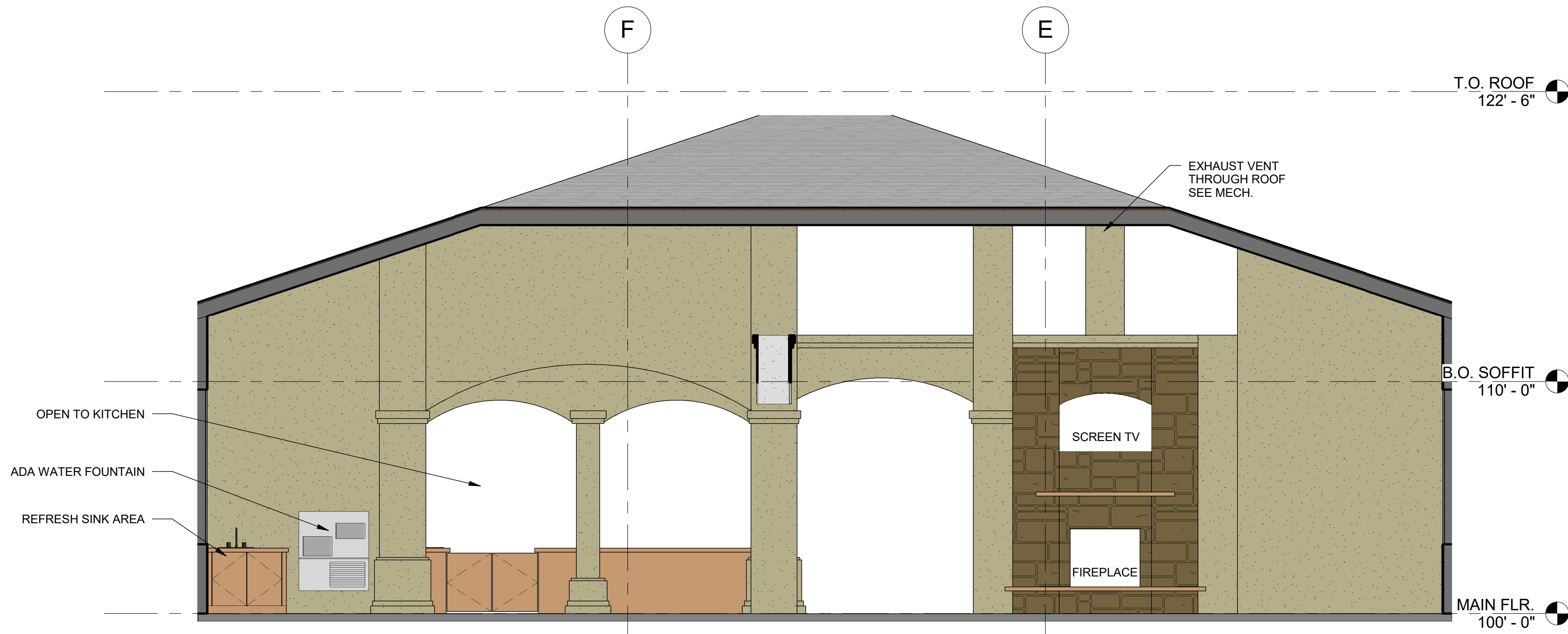
PERMIT 03/08/16

NO. DATE REVISION

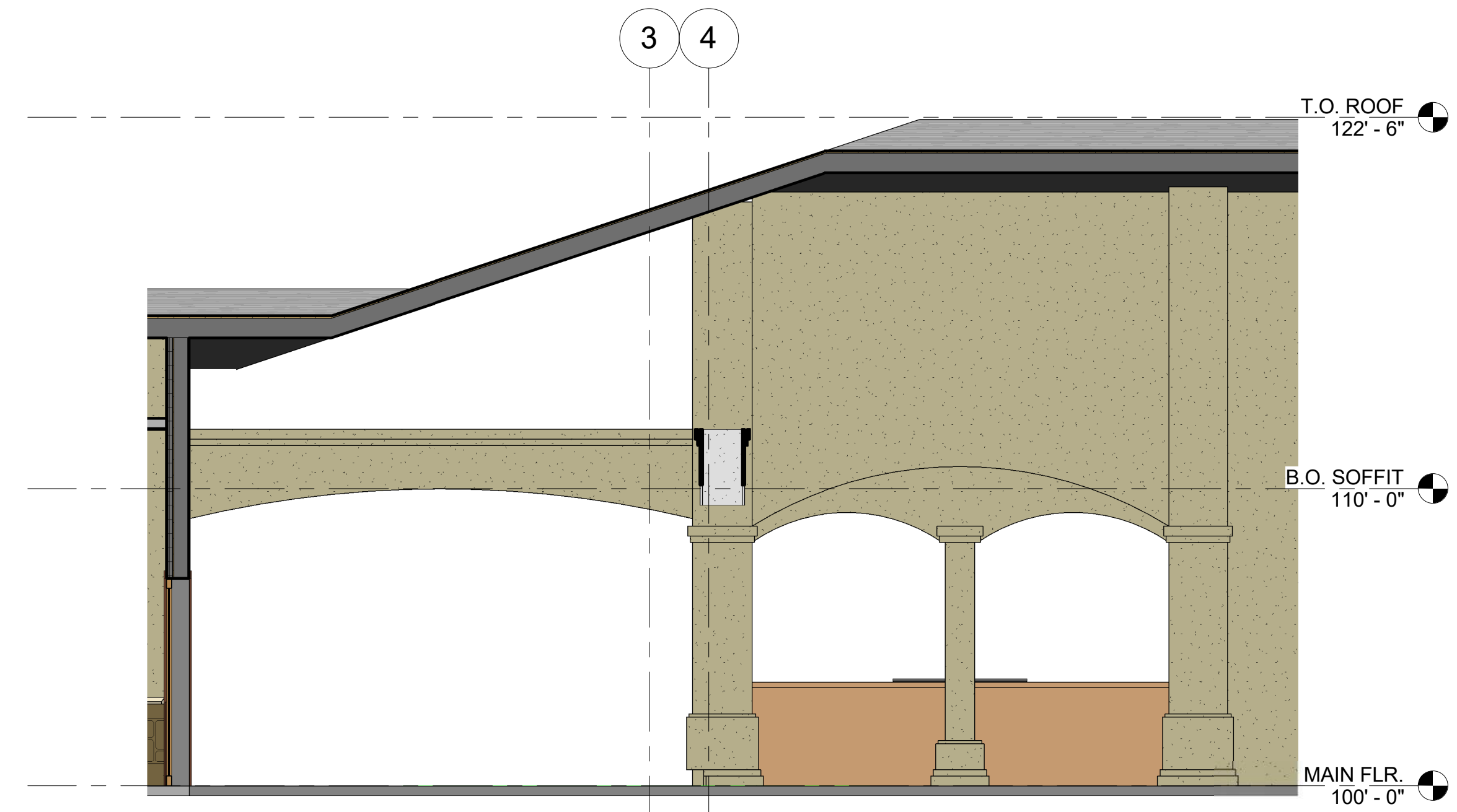
**INTERIOR
DETAILS**

PROJECT NUMBER
6903
DATE
12-31-15
DRAWN BY
R. MALIGON
PROJECT ENGINEER
A. HAWKINS
PROJECT MANAGER
C. DUNCAN

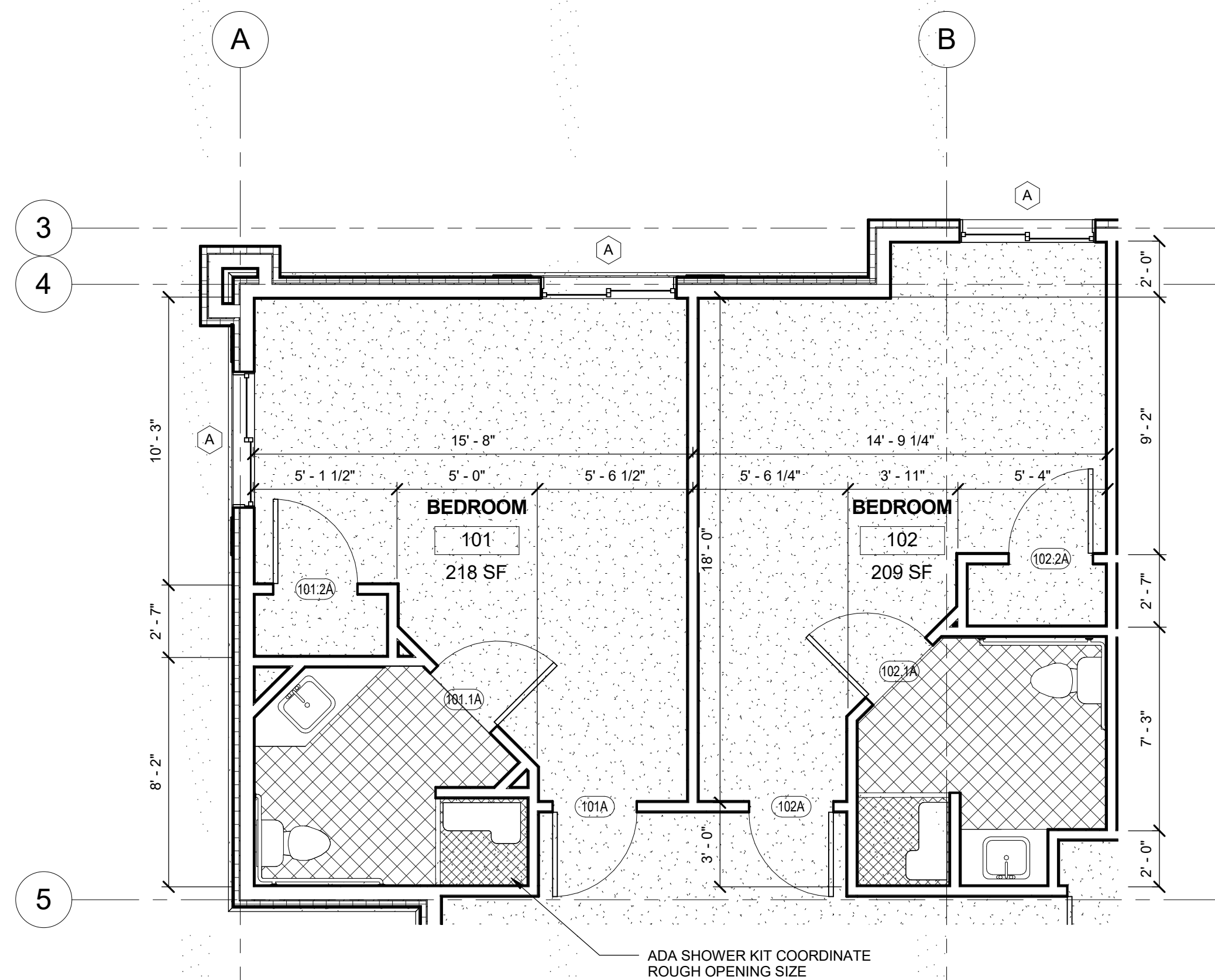
A5.1



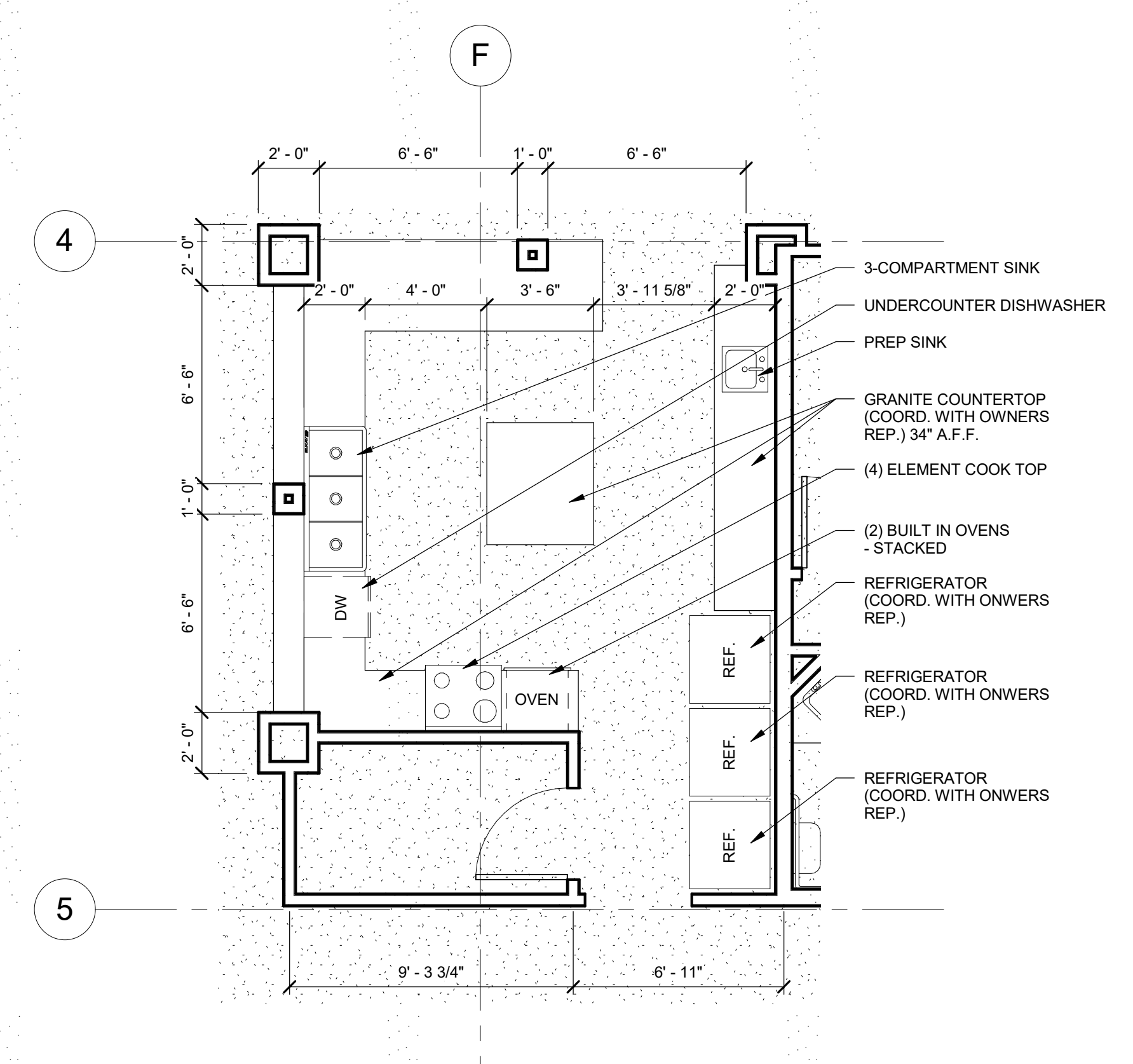
2 Elevation 2 - a
SCALE: 1/4" = 1'-0"



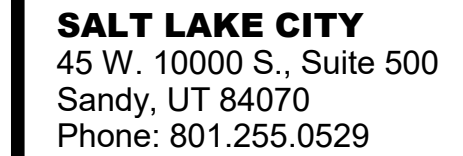
1 Elevation 1 - a
SCALE: 1/4" = 1'-0"



4 TYP. ROOM PLANS
SCALE: 1/4" = 1'-0"




3 ENLARGED KITCHEN PLAN
SCALE: 1/4" = 1'-0"



TOOELE
Phone: 435.843.3590

RICHFIELD
Phone: 435.590.0187

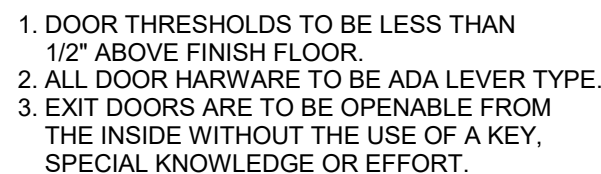
CLIENT INFORMATION:



PERMIT 03/08/16

NO.	DATE	REVISION

PROJECT NUMBER
6803
DATE
12-31-15
DRAWN BY
R. MALIGON
PROJECT ENGINEER
A. HAWKINS
PROJECT MANAGER
C. DUNCAN



SCALE: N.T.S.

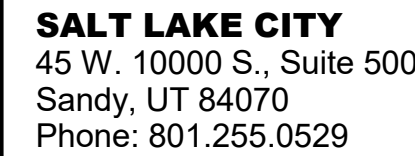


SCALE: N.T.S.

(COORDINATE W/ OWNER FOR KEYING
& DOOR SPECIFIC FUNCTION)

GROUP 1 DOOR NOS.: 120A LOCATION: LIVING 2 CONTINUOUS HINGE 1 MORTISE LOCK 1 RIMMORTISE CYLINDER 1 MULLION 1 MULLION MOUNTING KIT 1 MULLION STABILIZER 1 ELECTRIC STRIKE 1 CONCEALED OVERHEAD STOP 1 DOOR CLOSER 1 DOOR OPERATOR 1 THRESHOLD 1 WEATHERSEAL 1 MULLION SEAL 2 SWEEP 1 CARD READER 2 ACTUATOR 1 LOW VOLTAGE POWER	GROUP 2 DOOR NOS.: 117A, 125A, 136A LOCATION: HALLWAY 1 - 3 1 CONTINUOUS HINGE 1 MORTISE LOCK 1 RIMMORTISE CYLINDER 1 ELECTRIC STRIKE 1 DOOR CLOSER 1 KICK PLATE 1 THRESHOLD 1 CONCEALED WEATHERSEAL 1 SWEEP 1 CARD READER 1 LOW VOLTAGE POWER	GROUP 3 DOOR NOS.: 117B, 117C, 125B, 125C LOCATION: HALLWAY 1 & 3 3 HINGE 1 DOUBLE DOOR MORTISE LOCK 1 DOUBLE DOOR RIMMORTISE CYLINDER 1 DOOR CLOSER 1 KICK PLATE 1 THRESHOLD 1 WEATHERSEAL 1 SWEEP 1 CARD READER 1 LOW VOLTAGE POWER	GROUP 4 DOOR NOS.: 118A, 119A, 126A, 101.1A - 116.1A, 127A LOCATION: LINEN CLOSETS, T&B 3 HINGE 1 MORTISE LOCK 1 RIMMORTISE CYLINDER	GROUP 5 DOOR NOS.: 133A, 137A, 138A, 141A LOCATION: OFFICE, BEAUTY, LOUNGE, LAUNDRY 3 HINGE 1 MORTISE LOCK 1 RIMMORTISE CYLINDER 1 DOOR CLOSER 1 DOOR STOP	GROUP 6 DOOR NOS.: 134A, 135A, 139A LOCATION: FAMILY, COMMON BATH, TOILET 3 HINGE 1 MORTISE LOCK 1 RIMMORTISE CYLINDER 1 DOOR CLOSER	GROUP 7 DOOR NOS.: 128A, 129A, 130A, 131A LOCATION: MECH., STO., ELEC., MECH. 3 HINGE 1 MORTISE LOCK 1 RIMMORTISE CYLINDER 1 WEATHERSEAL	GROUP 8 DOOR NOS.: 101A - 116A, 101.2A - 116.2A, 124A, 140A LOCATION: BEDROOMS, CLOSETS, PANTRY, STO. 3 HINGE 1 MORTISE LOCK 1 RIMMORTISE CYLINDER 1 DOOR STOP	GROUP 9 DOOR NOS.: 101.3A, 108.3A, 109.3A, 116.3A LOCATION: CLOSETS 1 HEAVY-DUTY SLIDING HARDWARE SYSTEM & HANGERS (2-DOOR SLIDING BYPASS) 1 FLUSH MOUNT RING 1 FLOOR GUIDE	GROUP 10 DOOR NOS.: 139A LOCATION: RISER 3 HINGE 1 MORTISE LOCK 1 RIMMORTISE CYLINDER 1 WEATHERSEAL 1 SWEEP
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DOOR SCHEDULE										
MARK	WIDTH	HEIGHT	DOOR TYPE	DOOR FINISH	FRAME TYPE	FRAME FINISH	FIRE RATING	HARDWARE		COMMENTS
101.1A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
101.2A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		8		
101A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT	1 HR.	8		CLOSER
102.1A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
102.2A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		8		
102A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT	1 HR.	8		CLOSER
103.1A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
103.2A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		8		
103A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT	1 HR.	8		CLOSER
104.1A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
104.2A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		8		
104A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT	1 HR.	8		CLOSER
105.1A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
105.2A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		8		
105A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT	1 HR.	8		CLOSER
106.1A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
106.2A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		8		
106A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT	1 HR.	8		CLOSER
107.1A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
107.2A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		8		
107A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT	1 HR.	8		CLOSER
108.1A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
108.2A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		8		
108A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT	1 HR.	8		CLOSER
109.1A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
109.2A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		8		
109A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT	1 HR.	8		CLOSER
110.1A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
110.2A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		8		
110A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT	1 HR.	8		CLOSER
111.1A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
111.2A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		8		
111A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT	1 HR.	8		CLOSER
112.1A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
112.2A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		8		
112A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT	1 HR.	8		CLOSER
113.1A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
113.2A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		8		
113A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT	1 HR.	8		CLOSER
114.1A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
114.2A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		8		
114A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT	1 HR.	8		CLOSER
115.1A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
115.2A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		8		
115A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT	1 HR.	8		CLOSER
116.1A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
116.2A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		8		
116A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT	1 HR.	8		CLOSER
117A	3'-0"	7'-0"	HM	PAINT	HM	PAINT		2		INSULATED DOOR W/ TEMPERED GLASS
117B	3'-0"	7'-0"	SW	PAINT	WOOD W/ CASING	PAINT	1 HR.	3		FIRE DOOR ON MAGNETIC LOCK
117C	3'-0"	7'-0"	SW	PAINT	WOOD W/ CASING	PAINT	1 HR.	3		FIRE DOOR ON MAGNETIC LOCK
118A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
119A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
120A	6'-0"	7'-0"	HM	PAINT	HM	PAINT		1		INSULATED DOOR W/ TEMPERED GLASS
124A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		8		
125A	3'-0"	7'-0"	HM	PAINT	HM	PAINT		2		INSULATED DOOR W/ TEMPERED GLASS
125B	3'-0"	7'-0"	SW	PAINT	WOOD W/ CASING	PAINT	1 HR.	3		FIRE DOOR ON MAGNETIC LOCK
125C	3'-0"	7'-0"	SW	PAINT	WOOD W/ CASING	PAINT	1 HR.	3		FIRE DOOR ON MAGNETIC LOCK
126A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
127A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		4		
128A	3'-0"	7'-0"	HM	PAINT	HM	PAINT	1 HR.	7		
129A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		7		
130A	3'-0"	7'-0"	HM	PAINT	HM	PAINT		7		
131A	3'-0"	7'-0"	HM	PAINT	HM	PAINT		7		
132A	3'-0"	7'-0"	HM	PAINT	HM	PAINT		10		INSULATED DOOR
133A	3'-0"	7'-0"	SW	PAINT	WOOD W/ CASING	PAINT	1 HR.	5		
134A	3'-0"	7'-0"	SW	PAINT	WOOD W/ CASING	PAINT		6		DOOR W/ TEMPERED GLASS
135A	3'-0"	7'-0"	SW	PAINT	WOOD W/ CASING	PAINT		6		
136A	3'-0"	7'-0"	HM	PAINT	HM	PAINT		2		INSULATED DOOR
137A	3'-0"	7'-0"	SW	PAINT	WOOD W/ CASING	PAINT		5		
138A	3'-0"	7'-0"	SW	PAINT	WOOD W/ CASING	PAINT		6		DOOR W/ TEMPERED GLASS
139A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		5		
140A	3'-0"	7'-0"	HCW	PAINT	WOOD W/ CASING	PAINT		8		
141A	3'-0"	7'-0"	SW	PAINT	WOOD W/ CASING	PAINT		5		



TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.590.0187

CLIENT INFORMATION:

**TENDER CARE HOSPICE
ASSISTED LIVING FACILITY**

**155TH NORTH AND 1ST EAST STREET
PRICE CITY, UTAH**



A6.1

FORM FINISH SCHEDULE												
NUMBER	NAME	FLOOR FINISH	BASE FINISH	WALL FINISHES				HEIGHTS	CEILINGS	FINISH	COMMENTS	
				NORTH	EAST	SOUTH	WEST					
100	PORTE CO-CHERE	CONC. DRIVEWAY	-	-	-	-	-	12'-0"	PREFINISHED METAL SOFFIT	-	VAULTED CEILING	
101	BEDROOM	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	-	
101.1	T&B	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
101.1.1	SHO.	-	-	-	-	-	-	8'-0"	GYP.-TEXTURED, PAINTED	-	ADA SHOWER STALL- ONE PIECE BUILT-IN FIBER GLASS	
101.2	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
102	BEDROOM	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	-	
102.1	T&B	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
102.1.1	SHO.	-	-	-	-	-	-	8'-0"	GYP.-TEXTURED, PAINTED	-	ADA SHOWER STALL- ONE PIECE BUILT-IN FIBER GLASS	
102.2	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
103	BEDROOM	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	-	
103.1	T&B	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
103.1.1	SHO.	-	-	-	-	-	-	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
103.2	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	ADA SHOWER STALL- ONE PIECE BUILT-IN FIBER GLASS	
104	BEDROOM	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	-	
104.1	T&B	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
104.1.1	SHO.	-	-	-	-	-	-	8'-0"	GYP.-TEXTURED, PAINTED	-	ADA SHOWER STALL- ONE PIECE BUILT-IN FIBER GLASS	
104.2	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
105	BEDROOM	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	-	
105.1	T&B	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
105.1.1	SHO.	-	-	-	-	-	-	8'-0"	GYP.-TEXTURED, PAINTED	-	ADA SHOWER STALL- ONE PIECE BUILT-IN FIBER GLASS	
105.2	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
106	BEDROOM	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	-	
106.1	T&B	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
106.1.1	SHO.	-	-	-	-	-	-	8'-0"	GYP.-TEXTURED, PAINTED	-	ADA SHOWER STALL- ONE PIECE BUILT-IN FIBER GLASS	
106.2	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
107	BEDROOM	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	-	
107.1	T&B	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
107.1.1	SHO.	-	-	-	-	-	-	8'-0"	GYP.-TEXTURED, PAINTED	-	ADA SHOWER STALL- ONE PIECE BUILT-IN FIBER GLASS	
107.2	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
108	BEDROOM	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	-	
108.1	T&B	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
108.1.1	SHO.	-	-	-	-	-	-	8'-0"	GYP.-TEXTURED, PAINTED	-	ADA SHOWER STALL- ONE PIECE BUILT-IN FIBER GLASS	
108.2	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
109	BEDROOM	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	-	
109.1	T&B	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
109.1.1	SHO.	-	-	-	-	-	-	8'-0"	GYP.-TEXTURED, PAINTED	-	ADA SHOWER STALL- ONE PIECE BUILT-IN FIBER GLASS	
109.2	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
110	BEDROOM	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	-	
110.1	T&B	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
110.1.1	SHO.	-	-	-	-	-	-	8'-0"	GYP.-TEXTURED, PAINTED	-	ADA SHOWER STALL- ONE PIECE BUILT-IN FIBER GLASS	
110.2	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
111	BEDROOM	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	-	
111.1	T&B	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
111.1.1	SHO.	-	-	-	-	-	-	8'-0"	GYP.-TEXTURED, PAINTED	-	ADA SHOWER STALL- ONE PIECE BUILT-IN FIBER GLASS	
111.2	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
112	BEDROOM	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	-	
112.1	T&B	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
112.1.1	SHO.	-	-	-	-	-	-	8'-0"	GYP.-TEXTURED, PAINTED	-	ADA SHOWER STALL- ONE PIECE BUILT-IN FIBER GLASS	
112.2	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
113	BEDROOM	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	-	
113.1	T&B	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
113.1.1	SHO.	-	-	-	-	-	-	8'-0"	GYP.-TEXTURED, PAINTED	-	ADA SHOWER STALL- ONE PIECE BUILT-IN FIBER GLASS	
113.2	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
114	BEDROOM	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	-	
114.1	T&B	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
114.1.1	SHO.	-	-	-	-	-	-	8'-0"	GYP.-TEXTURED, PAINTED	-	ADA SHOWER STALL- ONE PIECE BUILT-IN FIBER GLASS	
114.2	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
115	BEDROOM	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	-	
115.1	T&B	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
115.1.1	SHO.	-	-	-	-	-	-	8'-0"	GYP.-TEXTURED, PAINTED	-	ADA SHOWER STALL- ONE PIECE BUILT-IN FIBER GLASS	
115.2	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
116	BEDROOM	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	-	
116.1	T&B	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
116.1.1	SHO.	-	-	-	-	-	-	8'-0"	GYP.-TEXTURED, PAINTED	-	ADA SHOWER STALL- ONE PIECE BUILT-IN FIBER GLASS	
116.2	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
117	HALLWAY 1	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	CHAIR RAIL GUARD IN ALL WALLS. SEE DETAIL IN SHEET A5.0	
118	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
119	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
120	LIVING	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	STONE WALL FURNACE/TV (EAST SIDE), VAULTED CEILING, CHAIR RAIL GUARD IN ALL WALLS. SEE DETAIL IN SHEET A5.1	
121	DINING	WOOD LAMINATE	WOOD BASE TRIM- PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	VAULTED CEILING, CHAIR RAIL GUARD IN ALL WALLS. SEE DETAIL IN SHEET A5.1	
122	COMMON	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	STONE WALL FURNACE/TV (WEST SIDE), VAULTED CEILING, CHAIR RAIL GUARD IN ALL WALLS. SEE DETAIL IN SHEET A5.1	
123	KITCHEN	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	VAULTED CEILING	
124	PANTRY	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
125	HALLWAY 3	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	CHAIR RAIL GUARD IN ALL WALLS. SEE DETAIL IN SHEET A5.0	
126	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
127	CLO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
128	MECH.	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
129	STO.	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
130	ELEC.	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	ATTIC ACCESS HATCH	
131	MECH	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
132	RISER	SEALED CONCRETE	RUBBER BASE	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
133	LAUNDRY	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	9'-0"	2x4 VINYL LAY-IN CEILING	-	MOISTURE RESISTANT	
134	FAMILY	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	CHAIR RAIL GUARD IN ALL WALLS. SEE DETAIL IN SHEET A5.0	
135	COMMON BATH	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
135.1	SHO.	-	-	-	-	-	-	8'-0"	GYP.-TEXTURED, PAINTED	-	ADA SHOWER STALL- ONE PIECE BUILT-IN FIBER GLASS	
136	HALLWAY 2	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	10'-0"	GYP.-TEXTURED, PAINTED	-	CHAIR RAIL GUARD IN ALL WALLS. SEE DETAIL IN SHEET A5.0	
137	OFFICE	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	CHAIR RAIL GUARD IN ALL WALLS. SEE DETAIL IN SHEET A5.0	
138	BEAUTY	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	CHAIR RAIL GUARD IN ALL WALLS. SEE DETAIL IN SHEET A5.0	
139	TOILET	SHEET VINYL	FLASH COVE VINYL W/ ALUM. CAP STRIP	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
140	STO.	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	8'-0"	GYP.-TEXTURED, PAINTED	-	-	
141	LOUNGE	CARPET	CARPET	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	GYP.-PAINTED	9'-0"	GYP.-TEXTURED, PAINTED	-	CHAIR RAIL GUARD IN ALL WALLS. SEE DETAIL IN SHEET A5.0	
142	OUTDOOR PATIO	SEALED CONCRETE	-	-	-	-	-	12'-0"	PREFINISHED METAL SOFFIT	-	-	

SHEET INDEX

S0.0	GENERAL STRUCTURAL NOTES
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S0.2	STRUCTURAL SCHEDULES
S0.3	STRUCTURAL SCHEDULES
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S2.0	WALL FRAMING PLAN
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S6.0	ROOF FRAMING DETAILS

DESIGN CRITERIA

1. GOVERNING BUILDING CODE: **2012 IBC**
2. ROOF LOADING:

A. GROUND SNOW LOAD

B. ROOF SNOW LOAD

C. LIVE LOAD

D. DEAD LOAD

= 53 PSF (NON-REDUCIBLE)

= 37 PSF

= 20 PSF (REDUCIBLE)

= 20 PSF
3. FLOOR LOADING:

A. LIVE LOAD

B. STAIR LIVE LOAD

C. DEAD LOAD

= 40 PSF

= 100 PSF

= 20 PSF
4. SEISMIC LOADING:

A. Ss

B. S1

C. SDS

D. SD1

E. BASIC SEISMIC FORCE

F. RESISTING SYSTEM

G. RESPONSE MOD FACTOR, R

H. DESIGN BASE SHEAR

I. SEISMIC RESPONSE COEFFICIENT, CS

J. ANALYSIS PROCEDURE

K. SEISMIC DESIGN CATEGORY

L. SITE CLASS

M. IMPORTANCE FACTOR I

N. RISK CATEGORY

= 0.428g

= 0.130g

= 0.416

= 0.198

= BEARING WALL SYSTEM:

= WOOD SHEARWALLS

= 6.5

= 0.064W

= 0.064

= EQUIVALENT LATERAL FORCE PROCEDURE

= C

= D

= 1.0

= II
5. WIND LOADING:

A. BASIC WIND SPEED

B. EXPOSURE

C. RISK CATEGORY

D. INTERNAL PRESSURE COEFFICIENT

E. BUILDING CLASSIFICATION

F. COMP. & CLADDING WIND PRESSURE

= 115 MPH - 3 SEC GUST

= C

= II

= ± 0.18

= ENCLOSED

= 23.5 PSF AT ZONE 5

= 19.0 PSF AT ZONE 4

GENERAL

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE GOVERNING BUILDING CODE AND SUPPLEMENTS UNLESS HIGHER STANDARD IS REQUIRED BY LOCAL BUILDING OFFICIAL.

2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND PROTECTION WITHIN AND ADJACENT TO THE JOB SITE.

4. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE OSHA SAFETY REQUIREMENTS DURING CONSTRUCTION.

5. DURING AND AFTER CONSTRUCTION THE CONTRACTOR AND/OR OWNER SHALL KEEP LOADS ON THE STRUCTURE WITHIN THE LIMITS OF THE DESIGN LOADS. CONSTRUCTION MATERIAL SHALL BE SPREAD OUT IF PLACE ON FRAMED FLOORS OR ROOF.

6. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ENGINEER BEFORE CONTINUING WITH CONSTRUCTION.

7. THE TYPICAL DETAILS SHALL BE USED WHEREVER APPLICABLE UNLESS OTHERWISE NOTED ON THE DRAWINGS. SPECIFIC NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.

8. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED. IN CASE OF CONFLICT, FOLLOW MOST STRINGENT REQUIREMENT AS DETERMINED BY STRUCTURAL ENGINEER WITHOUT COST TO OWNER.

9. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.

10. WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDUM.

11. ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING WITH APPROPRIATE TRADES, DRAWINGS AND SUBCONTRACTORS PRIOR TO CONSTRUCTION. DO NOT PENETRATE ANY STRUCTURAL ELEMENTS (BEAMS, COLUMNS, WALLS, SLABS, STEEL DECK, ETC.) WITHOUT PRIOR WRITTEN APPROVAL OF STRUCTURAL ENGINEER THROUGH ARCHITECT.

12. ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE SEAL OF A CIVIL OR STRUCTURAL ENGINEER REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED.

STRUCTURAL OBSERVATIONS BY ENSIGN ENGINEERING

1. ENSIGN ENGINEERING MAY PERFORM STRUCTURAL OBSERVATIONS AT CRITICAL PHASES OF CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO: REBAR PLACEMENT PRIOR TO POURING OF CONCRETE FOOTINGS AND FOUNDATION WALLS, ETC. COPIES OF THE SITE OBSERVATION REPORT WILL BE DISTRIBUTED TO THE ARCHITECT, CONTRACTOR, AND BUILDING OFFICIAL.

2. OBSERVATION VISITS TO THE JOB SITE BY ENSIGN ENGINEERING FIELD REPRESENTATIVES SHALL NEITHER BE CONSTRUED AS INSPECTION NOR APPROVAL OF CONSTRUCTION.

DEFERRED SUBMITTALS

1. DEFERRED SUBMITTALS ARE THOSE PORTIONS OF THE DESIGN WHICH ARE NOT SUBMITTED AT THE TIME OF PERMIT APPLICATION AND WHICH ARE TO BE SUBMITTED TO THE BUILDING OFFICIAL WITHIN A SPECIFIED PERIOD.

2. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD THROUGH THE ARCHITECT AND GENERAL CONTRACTOR WITHIN 6 WEEKS OF AWARD OF CONTRACT TO THE GENERAL CONTRACTOR. ONCE THE SUBMITTAL DOCUMENTS HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE TO THE CONTRACT DOCUMENTS, THE ENGINEER OF RECORD WILL FORWARD THEM TO THE ARCHITECT WITH A NOTATION INDICATING THAT THEY ARE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE ARCHITECT WILL FORWARD THE DEFERRED SUBMITTAL DOCUMENTS TO THE GENERAL CONTRACTOR WHO WILL MAINTAIN ONE SET ON SITE FOR REFERENCE BY THE CITY INSPECTOR. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

3. ITEMS THAT ARE SUBMITTED FOR CONSIDERATION AS DEFERRED SUBMITTALS ARE AS FOLLOWS:

A. STEEL JOISTS AND JOIST GIRDERS

B. PREFABRICATED STEEL STAIRS

C. PRE-ENGINEERED WOOD TRUSSES

SHOP DRAWINGS

1. SHOP DRAWINGS SHALL BE SUBMITTED TO THE GENERAL CONTRACTOR PRIOR TO FABRICATION OR ERECTION FOR THE FOLLOWING ITEMS:

A. REINFORCING STEEL

B. STRUCTURAL STEEL

C. MISCELLANEOUS METALS

D. STEEL JOISTS & JOIST GIRDERS

E. PLYWOOD I-JOISTS

F. PRE-ENGINEERED WOOD TRUSSES

G. CONCRETE MIX DESIGNS

H. POST TENSION ELONGATION

I. ANCHOR TIE-DOWN SYSTEMS

2. THE GENERAL CONTRACTOR SHALL SUBMIT THREE (3) COPIES OF ALL SHOP DRAWINGS TO THE STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OR ERECTION. FIVE (5) WORKING DAYS (MINIMUM) SHALL BE ALLOWED FOR THE REVIEW OF THESE SHOP DRAWINGS BY THE STRUCTURAL ENGINEER.

3. THE GENERAL CONTRACTOR WILL REVIEW AND STAMP ALL SHOP DRAWINGS AND PRODUCT DATA FOR CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS PRIOR TO SUBMISSION. ANY SHOP DRAWINGS OR PRODUCT DATA NOT REVIEWED AND STAMPED BY THE GENERAL CONTRACTOR WILL BE RETURNED WITHOUT REVIEW.

4. ANY SHOP DRAWING NOT CHECKED AND INITIALED BY THE SUPPLIER/DETAILER PRIOR TO SUBMITTING FOR ARCHITECTURAL AND ENGINEERING REVIEW, WILL BE RETURNED WITHOUT REVIEW.

5. THE CONSTRUCTION DOCUMENTS MAY NOT BE REPRODUCED FOR USE AS SHOP DRAWINGS.

6. ELECTRONIC FILES OF CONSTRUCTION DOCUMENTS WILL NOT BE MADE AVAILABLE FOR USE AS SHOP DRAWINGS.

FOUNDATIONS (w Report)

1. GEOTECHNICAL CONSULTANT: *Company Name*

2. REPORT NUMBER: *Report Number*

3. REPORT DATE: *Month Day, Year*

4. SPREAD FOOTINGS SHALL BEAR ON UNDISTURBED, UNIFORM, NATIVE GRAVEL SOILS OR ENTIRELY ON A MINIMUM OF 18 INCHES OF PROPERLY PLACED AND COMPACTED GRANULAR STRUCTURAL FILL, AS DETERMINED BY THE GEOTECHNICAL ENGINEER OF RECORD. DESIGN SOIL BEARING VALUE IS **1500 PSF**. BOTTOM OF FOOTINGS SHALL BE A MINIMUM OF **30 INCHES** BELOW LOWEST ADJACENT FINAL GRADE. FOR TOP OF FOOTING ELEVATIONS SEE FOUNDATION PLAN.

5. A 1.33 ALLOWABLE SOIL BEARING PRESSURE INCREASE IS ALLOWED FOR WIND/ SEISMIC LOADING.

6. ALL WATER SHALL BE REMOVED FROM FOUNDATION EXCAVATION PRIOR TO PLACING OF CONCRETE. DO NOT PLACE CONCRETE UNDER WATER OR ON FROZEN GROUND.

7. ANY FILL TO BE PLACED UNDER THE BUILDING AND FOOTINGS SHALL BE A WELL GRADED GRANULAR MATERIAL AS PER GEOTECHNICAL REPORT. WIDTH OF COMPACTED STRUCTURAL FILL SHALL EXTEND A MINIMUM DISTANCE EQUAL TO THE DEPTH OF FILL BEYOND THE EDGES OF THE FOOTINGS.

8. ALL FILL AND BACK FILL SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM RELATIVE DENSITY FOR BUILDING CONSTRUCTION AND 90% FOR GENERAL SITE WORK.

9. ANY UNUSUAL SOIL CONDITIONS (WATER, SOFT LAYERS, ROCK OUTCROPPINGS, ETC. ENCOUNTERED DURING EXCAVATION FOR FOOTINGS SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE STRUCTURAL AND SOIL ENGINEERS PRIOR TO PROCEEDING.

STEEL REINFORCING

1. TYPICAL REINFORCING BAR STRENGTHS

A. REINFORCING (NON-WELDABLE) = ASTM A615, DEFORMED, Fy = 60 KSI (420 MPa)

B. REINFORCING (WELDABLE) = ASTM A706, DEFORMED, Fy = 60 KSI (420 MPa)

2. TYPICAL CLEAR CONCRETE COVERAGES

A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH ± 3" FORMED

B. CONCRETE EXPOSED TO EARTH OR WEATHER (#6 AND LARGER) 2" (#5 AND SMALLER) 1-1/2"

C. ALL OTHERS PER LATEST EDITION OF ACI 318.

3. ALL BARS PER CRSI SPECIFICATIONS AND HANDBOOK. LATEST ACI CODE AND DETAILING MANUAL APPLY. SECURELY TIE ALL BARS IN LOCATION BEFORE PLACING CONCRETE. REINFORCING BAR SPACINGS GIVEN ARE MAXIMUM ON CENTERS.

4. ALL REINFORCING TO BE WELDED SHALL BE WELDED IN ACCORDANCE WITH AWS D1.4. NO TACK WELDING OF REINFORCING BARS IS ALLOWED WITHOUT PRIOR REVIEW OF PROCEDURE BY STRUCTURAL ENGINEER.
2. ANCHOR INSTALLATION:

A. INSTALL ANCHORS PER MANUFACTURER'S REQUIREMENTS. THESE REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, HOLE PREPARATION, HOLE SIZE, EPOXY PROPORTIONS AND QUANTITIES, INSTALLATION TEMPERATURE, AND CURE TIMES.

STRUCTURAL ABBREVIATIONS

AB.	ANCHOR BOLT (S)	IN.	INCH
ABV.	ABOVE	INSUL.	INSULATION
@.	AT	INT.	INTERIOR
ALT.	ALTERNATE	I.F.	INSIDE FACE
APPROX.	APPROXIMATE		
ARCH.	ARCHITECT (URAL)	JT.	JOINT
		JST.	JOIST
BM.	BEAM	KLF.	KIPS PER LINEAL FOOT
BLW.	BELOW	KSF.	KIPS PER SQUARE FOOT
BRG.	BEARING	KSL.	KIPS PER SQUARE INCH
BTWN.	BETWEEN	K.	KIPS
BLDG.	BUILDING		
BOT.	BOTTOM	L.F.	LINEAL FOOT
		LBS.	POUNDS
C.J.	CONSTRUCTION JOINT OR CONTROL JOINT	LLH.	LONG LEG HORIZONTAL
C.J.P.	COMPLETE JOINT PENETRATION	LLV.	LONG LEG VERTICAL
CMU.	CONCRETE MASONRY UNIT		
COL.	COLUMN	MAS.	MASONRY
CONC.	CONCRETE	MAX.	MAXIMUM
CONST.	CONSTRUCTION	MCJ.	MASONRY CONTROL JOINT
CONT.	CONTINUOUS	MECH.	MECHANICAL
CTR.	CENTER	MFR.	MANUFACTURER
		MIN.	MINIMUM
DB.	DECK BEARING	MISC.	MISCELLANEOUS
DBL.	DOUBLE		
DET.	DETAIL	NIC.	NOT IN CONTRACT
DIA.	DIAMETER	NTS.	NOT TO SCALE
DIM.	DIMENSION		
DWG.	DRAWING	OPNG.	OPENING
DWL.	DOWEL	OPP.	OPPOSITE
		O.C.	ON CENTER
EA.	EACH	O.F.	OUTSIDE FACE
E.J.	EXPANSION JOINT (SEISMIC SEPARATION JOINT)	OWSJ.	OPEN WEB STEEL JOIST
		PCF.	POUNDS PER CUBIC FOOT
ELEV.	ELEVATION	PNL.	PANEL
ELEC.	ELECTRICAL	PSF.	POUNDS PER SQUARE FOOT
EQUIP.	EQUIPMENT	PSI.	POUNDS PER SQUARE INCH
EQ.	EQUAL	PT.	POINT
EXIST.	EXISTING	REINF.	REINFORCING
EXP.	EXPANSION / EXPOSED	REQ'D	REQUIRED
EXT.	EXTENSION		
E.F.	EACH FACE		
E.W.	EACH WAY		
		SHT.	SHEET
F.D.	FLOOR DRAIN	SPECIAL	SPECIAL INSPECTION
FDTN.	FOUNDATION	S.O.G.	SLAB ON GRADE
F.F.	FINISH FLOOR	STD.	STANDARD
FIN.	FINISH	STIFF.	STIFFENER
FL.	FLOOR	STL.	STEEL
FT.	FOOT	SQ.	SQUARE
FTG.	FOOTING	SIM.	SIMILAR
FV.	FIELD VERIFY	STR.	STRUCTURAL
		STAG.	STAGGERED
GA.	GAUGE		
GALV.	GALVANIZED	T&B.	TOP AND BOTTOM
GLB.	GLU-LAMINATED BEAM	TEMP.	TEMPORARY
GR.	GRADE	T.O.	TOP OF
GSN.	GENERAL STRUCTURAL NOTES	TOC.	TOP OF CONCRETE
		TOF.	TOP OF FOOTING
HB.	HORIZONTAL BRIDGING	TOS.	TOP OF SLAB
HT.	HEIGHT	TOW.	TOP OF WALL
HORIZ.	HORIZONTAL	TP.	TYPICAL
HSA.	HEADED STUD ANCHORS		
		U.N.O.	UNLESS NOTED OTHERWISE
IBC.	INTERNATIONAL BUILDING CODE	VERT.	VERTICAL
ICBO.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS	W.	WITH
		W/F.	WIRE FABRIC
		WWM.	WELD WIRE MESH

CONCRETE

1. CONCRETE SHALL CONFORM TO ALL REQUIREMENTS OF ACI 318-11 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE", EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW:

NO WATER TO BE ADDED TO CONCRETE ON SITE EITHER BEFORE OR AFTER PLACEMENT

ELEMENT TYPE	MIN. COMP. STRENGTH Fc (psi)	EXPOSURE CLASSES				CEMENT TYPE	MAX. W/C RATIO	AIR CONTENT %	MAX. AGG. SIZE	MAX. FLY ASH %	APPLICABLE SPECIFIC INSTRUCTION NOTES
		F	S	P	C						
FOOTINGS	3000	F1	S0	P0	C1	II	0.45	5	3/4"	25	
FDTN WALLS, PIERS, & GRADE BEAMS	3000	F1	S0	P0	C1	II	0.45	5	3/4"	25	
BEARING / SHEAR WALLS	4000	F1	S0	P0	C0	II	0.45	5	3/4"	25	
COLUMNS	5000	F0	S0	P0	C0	II	0.45	--	3/4"	25	
BEAMS	4000	F0	S0	P0	C0	II	0.45	--	3/4"	25	
SUSPENDED SLABS	4000	F0	S0	P0	C0	II	0.45	--	3/4"	25	
INTERIOR SLAB ON GRADE	4000	F0	S0	P0	C0	II	0.45	--	1 1/2"	25	
INT. REINFORCED SLAB ON GRADE	4000	F0	S0	P0	C0	II	0.45	--	1 1/2"	25	
EXTERIOR SLAB ON GRADE	4000	F2	S0	P0	C2	II	0.40	5 1/2	1 1/2"	25	
EXT. REINFORCED SLAB ON GRADE	4000	F2	S0	P0	C2	II	0.40	5 1/2	1 1/2"	25	
POST-TENSIONED SLABS	5000	F3	S0	P0	C2	II	0.40	6	3/4"	20	C
CONCRETE OVER STEEL DECK	4000	F0	S0	P0	C0	II	0.45	--	3/4"	25	D
SPECIFIC INSTRUCTION NOTES:											
A. PROVIDE FIBRILLATED MICRO-REINFORCEMENT POLYPROPYLENE FIBERS TO THE CONCRETE AT THE RATE OF 2 LBS/YD3/ PRIOR TO PLACEMENT PER ASTM C-1116, TYPE III, SECTION 4.1.3											
B. XYPEX NOTE: XYPEX MIXTURE TO BE ADDED TO CONCRETE MIX FOR WATER PROOFING REQUIREMENT, AT A RATE OF 2% BY WEIGHT OF CEMENTITIOUS MATERIAL. CONTACT MANUFACTURER FOR MIX DESIGN REQUIREMENTS AND PLACEMENT. <http://www.imxtechnologies.com/>											
C. POST TENSION CONCRETE SHALL ACHIEVE A COMPRESSIVE STRENGTH OF 3,000 PSI MINIMUM WITHIN 72 HOURS AFTER PLACEMENT.											
D. LIGHTWEIGHT CONCRETE SHALL BE USED.											
E. A PEA GRAVEL MIX SHALL BE USED.											
ADDITIONAL COMMENTS:											
1. DESIGN Fc = 2,500 PSI FOR FOOTINGS AND FOUNDATIONS - NO SPECIAL INSPECTION IS REQUIRED.											

2. CONCRETE SHALL ATTAIN THE LISTED MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.

3. AIR CONTENT TOLERANCE IS +/- 1-1/2% AT THE TIME OF FINAL PLACEMENT.

4. AIR ENTRAINMENT SHALL BE ADJUSTED FOR THE USE OF ADMIXTURES AND FLY ASH.

5. SUPERPLASTICIZER MAY BE ADDED TO INCREASE SLUMP AS REQUIRED FOR PLACEMENT.

6. CALCIUM CHLORIDE SHALL NOT BE ADDED TO THE CONCRETE MIX.

7. USE TYPE V CEMENT WHEN HIGH SULPHATE RESISTANCE IS REQUIRED BY THE GEOTECHNICAL REPORT OR WHEN THE 'S' EXPOSURE CLASS IS S2 OR S3. IF S3 IS REQUIRED, POZZOLAN OR SLAG CEMENT IN ACCORDANCE WITH ASTM C1012 IS ALSO REQUIRED.

8. MATERIAL DESIGNATIONS:

A. CEMENT = ASTM C150

B. NORMAL WEIGHT AGGREGATES = ASTM C33

C. LIGHTWEIGHT AGGREGATES = ASTM C330

D. FLY ASH, CLASS F POZZOLAN = ASTM C618

E. REINFORCING STEEL

a. NORMAL = ASTM A615

b. WELDABLE = ASTM A706

c. DEFORMED BAR ANCHORS (DBA) = ASTM A496

d. HEADED STUD ANCHORS (HSA) = ASTM A108

e. AIR ENTRAINMENT ADMIXTURES = ASTM C260

f. WATER REDUCING ADMIXTURES = ASTM C494, TYPE 'A'

g. RETARDING ADMIXTURES = ASTM C494, TYPE 'B'

h. WATER REDUCING & RETARDING ADMIXTURES = ASTM C494, TYPE 'D'

i. HIGH RANGE WATER REDUCING ADMIXTURES = ASTM C494, TYPE 'F'

j. HIGH RANGE WATER REDUCING & RETARDING ADMIXTURES = ASTM C494, TYPE 'G'

k. ADMIXTURES ARE TO COME FROM AN ISO9001 QUALITY CERTIFIED MANUFACTURER. ALL ADMIXTURES ARE TO COME FROM THE SAME MANUFACTURER TO ENSURE COMPATIBILITY.

l. NO ALUMINUM CONDUIT OR PRODUCTS CONTAINING ALUMINUM OR ANY OTHER PRODUCTS THAT REACT ADVERSELY WITH THE CONCRETE SHALL BE EMBEDDED IN THE CONCRETE.

9. A STATEMENT OF MIX DESIGN FOR ALL CONCRETE SHALL BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO COMMENCING WORK.

10. PLACEMENT, CURING, AND PROTECTION OF CONCRETE SHALL CONFORM TO ACI 318-11. THE USE OF CHEMICALS OR ADDITIVES TO PREVENT FREEZING SHOULD NOT BE PERMITTED, REFER TO SPECIFICATIONS AND TO DIRECTIVES BY STRUCTURAL ENGINEER FOR ADDITIONAL COLD WEATHER REQUIREMENTS. ALL CONCRETE SHALL BE PROPERLY VIBRATED IN PLACE USING INTERNAL VIBRATING RODS (MECHANICAL OR ELECTRICAL).

11. ALL SLABS ON GRADE SHALL BE PLACED WITH CONTROL JOINTS OR SAW CUTS AT NO MORE THAN 30 TIMES THE SLAB THICKNESS ON CENTER (MAXIMUM) OR AS SHOWN/NOTED ON DRAWINGS. LENGTH TO WIDTH RATIO OF THE SLABS BETWEEN CONTROL JOINTS EACH WAY SHALL BE NO MORE THAN 1.25. COMPLETE CONTROL JOINTS WITHIN 12 HOURS OF CONCRETE PLACEMENT. TOOLED CONTROL JOINTS ARE TO BE AT MINIMUM 1/4 OF THE SLAB THICKNESS AND NO MORE THAN 1/3 OF THE SLAB THICKNESS. FOR SAW CUT CONTROL JOINTS, SEE THE SLAB JOINT TYPICAL DETAILS.

12. SLAB ON GRADE CONSTRUCTION JOINTS SHALL NOT EXCEED 125' - 0" O.C. IN ANY DIRECTION. CONSTRUCTION JOINTS MAY BE EITHER A DOWEL TYPE CONSTRUCTION JOINT OR A KEYWAY TYPE CONSTRUCTION JOINT. SEE THE SLAB JOINT TYPICAL DETAILS FOR MORE INFORMATION.

13. CONCRETE TESTS WILL BE MADE ON MAJOR POURS AND AT SUCH OTHER TIMES AS MAY BE REQUIRED BY THE ENGINEER. EACH TEST SHALL CONSIST OF (3) CYLINDERS OF WHICH ONE SHALL BE TESTED AT SEVEN DAYS, ONE TESTED AT TWENTY-EIGHT DAYS AND ONE RETAINED IN RESERVE FOR LATER TESTS. IF REQUIRED, IN GENERAL, ONE TEST SHALL BE MADE FOR EACH 100 CUBIC YARDS OF CONCRETE ON EACH DAY OF POUR. SPECIMENS SHALL BE MADE AND TESTED IN ACCORDANCE WITH ASTM C31 & C39 STANDARDS. SLUMP AND AIR ENTRAINMENT TESTS SHALL ALSO BE MADE WITH EACH SET OF CYLINDERS TAKEN.

14. BEFORE CONCRETE IS POURED, CHECK WITH ALL TRADES TO INSURE PROPER PLACEMENT OF ALL OPENINGS, SLEEVES, CURBS, CONDUITS, BOLTS, INSERTS, ETC., RELATED TO THE WORK.

15. THE CONTRACTOR IS RESPONSIBLE FOR THE PLACEMENT, REMOVAL, AND DESIGN OF ALL FORMWORK AND SHORING.

16. SUSPENDED CONCRETE STRUCTURAL MEMBERS SHALL NOT BE STRIPPED OF FORMS UNTIL CONCRETE HAS REACHED ITS DESIGN STRENGTH.

17. FOR LAP SPlice LENGTH, SEE LAP SPlice SCHEDULE.

18. SEE CIVIL DRAWINGS FOR SITE CONCRETE REQUIREMENTS.

11. ALL SLABS ON GRADE SHALL BE PLACED WITH CONTROL JOINTS OR SAW CUTS AT NO MORE THAN 30 TIMES THE SLAB THICKNESS ON CENTER (MAXIMUM) OR AS SHOWN/NOTED ON DRAWINGS. LENGTH TO WIDTH RATIO OF THE SLABS BETWEEN CONTROL JOINTS EACH WAY SHALL BE NO MORE THAN 1.25. COMPLETE CONTROL JOINTS WITHIN 12 HOURS OF CONCRETE PLACEMENT. TOOLED CONTROL JOINTS ARE TO BE AT MINIMUM 1/4 OF THE SLAB THICKNESS AND NO MORE THAN 1/3 OF THE SLAB THICKNESS. FOR SAW CUT CONTROL JOINTS, SEE THE SLAB JOINT TYPICAL DETAILS.

12. SLAB ON GRADE CONSTRUCTION JOINTS SHALL NOT EXCEED 125' - 0" O.C. IN ANY DIRECTION. CONSTRUCTION JOINTS MAY BE EITHER A DOWEL TYPE CONSTRUCTION JOINT OR A KEYWAY TYPE CONSTRUCTION JOINT. SEE THE SLAB JOINT TYPICAL DETAILS FOR MORE INFORMATION.

13. CONCRETE TESTS WILL BE MADE ON MAJOR POURS AND AT SUCH OTHER TIMES AS MAY BE REQUIRED BY THE ENGINEER. EACH TEST SHALL CONSIST OF (3) CYLINDERS OF WHICH ONE SHALL BE TESTED AT SEVEN DAYS, ONE TESTED AT TWENTY-EIGHT DAYS AND ONE RETAINED IN RESERVE FOR LATER TESTS. IF REQUIRED, IN GENERAL, ONE TEST SHALL BE MADE FOR EACH 100 CUBIC YARDS OF CONCRETE ON EACH DAY OF POUR. SPECIMENS SHALL BE MADE AND TESTED IN ACCORDANCE WITH ASTM C31 & C39 STANDARDS. SLUMP AND AIR ENTRAINMENT TESTS SHALL ALSO BE MADE WITH EACH SET OF CYLINDERS TAKEN.

14. BEFORE CONCRETE IS POURED, CHECK WITH ALL TRADES TO INSURE PROPER PLACEMENT OF ALL OPENINGS, SLEEVES, CURBS, CONDUITS, BOLTS, INSERTS, ETC., RELATED TO THE WORK.

15. THE CONTRACTOR IS RESPONSIBLE FOR THE PLACEMENT, REMOVAL, AND DESIGN OF ALL FORMWORK AND SHORING.

16. SUSPENDED CONCRETE STRUCTURAL MEMBERS SHALL NOT BE STRIPPED OF FORMS UNTIL CONCRETE HAS REACHED ITS DESIGN STRENGTH.

17. FOR LAP SPlice LENGTH, SEE LAP SPlice SCHEDULE.

18. SEE CIVIL DRAWINGS FOR SITE CONCRETE REQUIREMENTS.

DRYPACK/FLOWABLE GROUT

1. THE SPACE BENEATH ALL BASEPLATES AND BEARING PLATES SHALL BE THOROUGHLY CLEANED BEFORE DRYPACKING OR GROUTING. DRYPACK/GROUT SOLID BENEATH ALL BASEPLATES AND BEARING PLATES. NO VOIDS ARE PERMISSIBLE. USE OF DRYPACK OR FLOWABLE GROUT IS AT THE CONTRACTORS OPTION UNLESS SPECIFICALLY NOTED ON THE PLANS OR DETAILS. DRYPACK/GROUT PER THE FOLLOWING:

A. DRYPACK - PORTLAND CEMENT, ASTM C150, TYPE I; AND CLEAN, NATURAL SAND, ASTM C644, SIZE NO. 2. MIX AT RATIO OF 1 PART CEMENT TO 2-1/2 PARTS SAND, BY VOLUME, WITH MINIMUM WATER REQUIRED FOR PLACEMENT AND HYDRATION. MINIMUM COMPRESSIVE STRENGTH SHALL BE 5,000 PSI AT 28 DAYS WHEN TESTED IN ACCORDANCE WITH ASTM C1107.

B. FLOWABLE GROUT - PREMIXED, NONMETALLIC, NONCORROSIVE, NONSTAINING GROUT CONTAINING SELECTED SILICA SANDS, PORTLAND CEMENT, SHRINKING AGENTS, PLASTICIZING AND WATER-REDUCING AGENTS, COMPLYING WITH ASTM C1107, OF CONSISTENCY SUITABLE FOR APPLICATION, AND A 30-MINUTE WORKING TIME. MINIMUM COMPRESSIVE STRENGTH SHALL BE 5000 PSI AT 28 DAYS WHEN TESTED IN ACCORDANCE WITH ASTM C1107.

WOOD

1. ALL STRUCTURAL LUMBER, UNLESS NOTED OTHERWISE, SHALL BE DOUGLAS FIR-LARCH NO. 2 OR BETTER.

2. ALL NAILING OF FRAMING LUMBER AND PLYWOOD SHALL BE AS PER THE 2012 IBC TABLE 2304.9.1, UNLESS NOTED OTHERWISE.

3. PROVIDE BRIDGING ON ALL SOLID SAWN RECTANGULAR LUMBER MEMBERS PER THE 2012 IBC SECTION 2308.8.5.

4. ALL PLYWOOD ROOF AND FLOOR DIAPHRAGMS AND SHEAR WALLS SHALL BE APA RATED STRUCTURAL SHEATHINGS WITH A SPAN INDEX RATING AND THICKNESS AS NOTED ON THE DRAWINGS.

5. ALL MEMBERS FRAMING INTO THE SIDE OF HEADERS OR STUD WALL SHALL BE ATTACHED USING METAL JOIST HANGERS (SIMPSON ITT OR AS NOTED ON DRAWINGS).

6. FRAMING CONNECTORS: ALL NOTATIONS REFER TO SIMPSON STRONG-TIE CONNECTORS. EQUIVALENT USP CONNECTORS ARE ACCEPTABLE. USE OF OTHER MANUFACTURERS CONNECTORS IS SUBJECT TO REVIEW AND APPROVAL BY THE ENGINEER.

7. ALL BOLTS FOR CONNECTIONS SHALL HAVE WASHERS PLACED UNDER NUTS AND HEADS. BOLT HOLES TO BE DRILLED 1/16 " LARGER THAN BOLT DIAMETER.

8. ALL FASTENERS, INCLUDING NUTS AND WASHERS INSTALLED IN PRESERVATIVE TREATED WOOD OR FIRE TREATED WOOD SHALL BE HOT-DIPPED ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER. THESE FASTENERS SHALL MEET THE REQUIREMENTS OF 2012 IBC SECTION 2304.9.5. EXCEPTION: PLAIN CARBON STEEL FASTENERS, INCLUDING NUTS AND WASHERS IN SBX / DOT AND ZINC BORATE PRESERVATIVE TREATED WOOD IN AN INTERIOR, DRY ENVIRONMENT SHALL BE PERMITTED PER 2012 IBC SECTION 2304.9.5.1.

STRUCTURAL GLUED LAMINATED TIMBER

1. STRUCTURAL GLUED LAMINATED TIMBER OF SOFTWOOD SPECIES SHALL BE IN CONFORMANCE WITH ANSI STANDARD A190.1. AMERICAN NATIONAL STANDARD FOR STRUCTURAL GLUED LAMINATED TIMBER, OR OTHER CODE-APPROVED DESIGN, MANUFACTURING AND/OR QUALITY ASSURANCE PROCEDURES. MEMBERS SHALL BE MARKED WITH THE ENGINEERED WOOD SYSTEMS APA EWS TRADEMARK INDICATING CONFORMANCE WITH THE MANUFACTURING, QUALITY ASSURANCE AND MARKING PROVISIONS OF ANSI STANDARD A190.1.

EXTREME FIBER IN BENDING:	
TENSION ZONE IN TENSION, ALL BEAMS	2400 psi
COMPRESSION ZONE IN TENSION, SIMPLE SPAN BEAMS	1850 psi
COMPRESSION ZONE IN TENSION, CONTINUOUS & CANTILEVER BEAMS	2400 psi
COMPRESSION PREPENDICULAR TO GRAIN TENSION & COMPRESSION FACE	650 psi
HORIZONTAL SHEAR STRESS	240 psi
MOE	1,600,000 psi

ENGINEERED WOOD I-JOISTS

1. I-JOISTS SHALL BE MARKED WITH THE APA PRI TRADEMARK INDICATION CONFORMANCE WITH THE MANUFACTURING QUALITY ASSURANCE, AND MARKING PROVISIONS OF APA EWS STANDARD PRJ-400, PERFORMANCE STANDARD FOR APA EWS I-JOISTS. APPROVED EQUALS MAY ALSO BE USED.

WOOD STRUCTURAL PANEL SHEATHING

SPECIAL INSPECTION

SPECIAL INSPECTIONS:

1. SPECIAL INSPECTIONS ARE REQUIRED AS DESCRIBED IN CHAPTER 17 OF THE 2012 IBC. THE OWNER, OR OWNER'S AGENT, SHALL EMPLOY ONE OR MORE APPROVED AGENCIES TO PERFORM INSPECTIONS DURING CONSTRUCTION ON THE TYPES OF WORK LISTED IN SECTION 1705 IN ADDITION TO THE INSPECTIONS IDENTIFIED IN SECTION 110 UNLESS WAIVED BY THE BUILDING OFFICIAL.
2. THE SPECIAL INSPECTION REQUIREMENTS OF THIS SECTION OF THE GENERAL STRUCTURAL NOTES SERVE AS THE ENGINEER OF RECORD'S STATEMENT OF SPECIAL INSPECTIONS REQUIRED BY CHAPTER 17 OF THE 2012 IBC.

SPECIAL INSPECTOR QUALIFICATIONS & RESPONSIBILITIES:

1. EACH SPECIAL INSPECTOR SHALL PROVIDE WRITTEN DOCUMENTATION TO THE BUILDING OFFICIAL DEMONSTRATING THEIR COMPETENCE, EXPERIENCE AND TRAINING.
2. SPECIAL INSPECTORS SHALL KEEP RECORDS OF ALL INSPECTIONS. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE OWNER, CONTRACTOR, BUILDING OFFICIAL AND THE ARCHITECT/ENGINEER OF RECORD.
- A. INSPECTION REPORTS SHALL INDICATE THAT WORK INSPECTED WAS OR WAS NOT COMPLETED IN CONFORMANCE TO THE APPROVED CONSTRUCTION DOCUMENTS AND GOVERNING BUILDING CODE.
- B. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION.
- C. ANY DISCREPANCIES THAT ARE NOT CORRECTED SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND THE ARCHITECT/ENGINEER OF RECORD PRIOR TO COMPLETION OF THAT PHASE OF WORK.
- D. A FINAL SIGNED REPORT DOCUMENTING ALL REQUIRED SPECIAL INSPECTIONS AND CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL AND ARCHITECT/ENGINEER OF RECORD AT A POINT IN TIME AGREED UPON PRIOR TO THE START OF WORK.

CONTRACTOR RESPONSIBILITIES:

1. EACH CONTRACTOR RESPONSIBLE FOR THE CONSTRUCTION OF A MAIN WIND/SEISMIC FORCE RESISTING SYSTEM, DESIGNATED WIND/SEISMIC SYSTEM, OR A WIND/SEISMIC FORCE RESISTING COMPONENT SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE BUILDING OFFICIAL AND THE OWNER PRIOR TO THE COMMENCEMENT OF WORK ON THAT SYSTEM OR COMPONENT. THIS STATEMENT SHALL CONTAIN ACKNOWLEDGEMENT OF AWARENESS OF THE SPECIAL INSPECTION REQUIREMENTS.
2. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH ALL REQUIRED INSPECTIONS, TESTING AND STRUCTURAL OBSERVATIONS. THE CONTRACTOR SHALL NOT PROCEED WITH SUBSEQUENT WORK UNTIL REQUIRED INSPECTIONS, TESTING AND STRUCTURAL OBSERVATIONS HAVE BEEN COMPLETED.
3. ALL WORK REQUIRING SPECIAL INSPECTION SHALL REMAIN ACCESSIBLE AND EXPOSED UNTIL COMPLETION OF THE REQUIRED SPECIAL INSPECTIONS.
4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST (2) DAYS PRIOR TO ANY REQUIRED STRUCTURAL OBSERVATIONS.

SPECIAL INSPECTION OF FABRICATORS:

1. ALL FABRICATION OF STRUCTURAL LOAD-BEARING MEMBERS AND ASSEMBLIES PERFORMED OFFSITE SHALL BE SPECIAL INSPECTION PER SECTION 1704.2.5 EXCEPT WORK PERFORMED BY FABRICATORS REGISTERED AND APPROVED TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION PER SECTION 1704.2.5.2.
2. THE APPROVED FABRICATOR SHALL SUBMIT A CERTIFICATE OF COMPLIANCE TO THE BUILDING OFFICIAL AT THE COMPLETION OF FABRICATION STATING THE WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS.

STRUCTURAL OBSERVATIONS:

1. STRUCTURAL OBSERVATIONS ARE NOT REQUIRED FOR THIS PROJECT. HOWEVER, STRUCTURAL OBSERVATIONS MAY BE PERFORMED BY A REPRESENTATIVE FROM ENSIGN ENGINEERING AS DEEMED NECESSARY.

REQUIRED SPECIAL INSPECTION OR TESTING:

THE FOLLOWING MATERIALS, SYSTEMS AND COMPONENTS REQUIRE SPECIAL INSPECTION OR TESTING PER CHAPTER 17 OF THE 2012 IBC.

1. STRUCTURAL STEEL (SECTION 1705.2.1):
- A. THE FABRICATOR OR ERECTOR SHALL SUBMIT THE DOCUMENTS LISTED IN SECTION N3 OF AISC 360 FOR REVIEW BY THE ENGINEER OF RECORD.
- B. QUALITY ASSURANCE (QA) SHALL BE PROVIDED BY OTHERS WHEN REQUIRED BY THE AUTHORITY HAVING JURISDICTION (AHJ), APPLICABLE BUILDING CODE (ABC), PURCHASER, OWNER, OR ENGINEER OF RECORD.
- C. QA INSPECTION OF FABRICATED ITEMS SHALL BE MADE AT THE FABRICATOR'S PLANT. THE QUALITY ASSURANCE INSPECTOR (QAI) SHALL SCHEDULE THIS WORK TO MINIMIZE INTERRUPTION TO THE WORK OF THE FABRICATOR.
- D. QA INSPECTION OF THE ERCTED STEEL SYSTEM SHALL BE MADE AT THE PROJECT SITE. THE QAI SHALL SCHEDULE THIS WORK TO MINIMIZE INTERRUPTION TO THE WORK OF THE ERECTOR.
- E. THE QAI SHALL REVIEW THE MATERIAL TEST REPORTS AND CERTIFICATIONS LISTED IN SECTION N3.2 OF AISC 360 FOR COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS.
- F. THE QAI SHALL BE ON THE PREMISES FOR INSPECTION DURING THE PLACEMENT OF ANCHOR RODS AND OTHER EMBEDMENTS SUPPORTING STRUCTURAL STEEL FOR COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. AS A MINIMUM, THE DIAMETER, GRADE, TYPE AND LENGTH OF THE ANCHOR ROD OR EMBEDDED ITEM, AND THE EXTENT OR DEPTH OF EMBEDMENT INTO THE CONCRETE, SHALL BE VERIFIED PRIOR TO PLACEMENT OF CONCRETE.
- G. THE QAI SHALL INSPECT THE FABRICATED STEEL OR ERCTED STEEL FRAME, AS APPROPRIATE, TO VERIFY COMPLIANCE WITH THE DETAILS SHOWN ON THE CONSTRUCTION DOCUMENTS, SUCH AS BRACES, STIFFENERS, MEMBER LOCATIONS AND PROPER APPLICATION OF JOINT DETAILS AT EACH CONNECTION.
- H. QA INSPECTIONS, EXCEPT NONDESTRUCTIVE TESTING (NDT), MAY BE WAIVED WHEN THE WORK IS PERFORMED IN A FABRICATING SHOP OR BY AN ERECTOR APPROVED BY THE AHJ TO PERFORM THE WORK WITHOUT QA. NDT OF WELDS COMPLETED IN AN APPROVED FABRICATOR'S SHOP MAY BE PERFORMED BY THAT FABRICATOR WHEN APPROVED BY THE AHJ. WHEN THE FABRICATOR PERFORMS THE NDT, THE QA AGENCY SHALL REVIEW THE FABRICATOR'S NDT REPORTS.
- I. AT COMPLETION OF FABRICATION, THE APPROVED FABRICATOR SHALL SUBMIT A CERTIFICATE OF COMPLIANCE TO THE AHJ STATING THAT THE MATERIALS SUPPLIED AND WORK PERFORMED BY THE FABRICATOR ARE IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. AT COMPLETION OF ERECTION, THE APPROVED ERECTOR SHALL SUBMIT A CERTIFICATE OF COMPLIANCE TO THE AHJ STATING THAT THE MATERIAL SUPPLIED AND WORK PERFORMED BY THE ERECTOR ARE IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- J. IDENTIFICATION AND REJECTION OF MATERIAL OR WORKMANSHIP THAT IS NOT IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS SHALL BE PERMITTED AT ANY TIME DURING THE PROGRESS OF THE WORK. HOWEVER, THIS PROVISION SHALL NOT RELIEVE THE OWNER OR THE INSPECTOR OF THE OBLIGATION FOR TIMELY, IN-SEQUENCE INSPECTIONS. NONCONFORMING MATERIAL AND WORKMANSHIP SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE FABRICATOR OR ERECTOR, AS APPLICABLE.
- K. NONCONFORMING MATERIAL OR WORKMANSHIP SHALL BE BROUGHT TO CONFORMANCE, OR MADE SUITABLE FOR ITS INTENDED PURPOSE AS DETERMINED BY THE ENGINEER OF RECORD.
- L. CONCURRENT WITH THE SUBMITTAL OF SUCH REPORTS TO THE AHJ, ENGINEER OF RECORD OR OWNER, THE QA AGENCY SHALL SUBMIT TO THE FABRICATOR AND ERECTOR:
- a. NONCONFORMANCE REPORTS.
- b. REPORTS OF REPAIR, REPLACEMENT OR ACCEPTANCE OF NONCONFORMING ITEMS.
- M. QA INSPECTION TASKS SHALL BE PERFORMED BY THE QAI IN ACCORDANCE WITH THE STRUCTURAL STEEL SPECIAL INSPECTION TABLE, AS A MINIMUM, SEE SHEET S0.1.
2. STEEL CONSTRUCTION OTHER THAN STRUCTURAL STEEL (SECTION 1705.2.2):
- A. SPECIAL INSPECTION FOR STEEL CONSTRUCTION OTHER THAN STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE STEEL CONSTRUCTION SPECIAL INSPECTION TABLE (SEE SHEET S0.1) AND THE FOLLOWING:
- a. COLD-FORMED STEEL: WELDING INSPECTION AND WELDING INSPECTOR QUALIFICATIONS FOR COLD-FORMED STEEL FLOOR AND ROOF DECKS SHALL BE IN ACCORDANCE WITH AWS D1.3 AND SECTION 1705 OF THE 2012 IBC.
- b. REINFORCING STEEL: WELDING INSPECTION AND WELDING INSPECTOR QUALIFICATIONS FOR REINFORCING STEEL SHALL BE IN ACCORDANCE WITH AWS D1.4, ACI 318 AND SECTION 1705 OF THE 2012 IBC.
- B. SEE TABLE 1705.2.2 OF THE 2012 IBC FOR APPLICABLE REFERENCE STANDARDS.

SPECIAL INSPECTION (CONTINUED)

REQUIRED SPECIAL INSPECTION OR TESTING (CONTINUED):

3. CONCRETE CONSTRUCTION (SECTION 1705.3):
- A. SPECIAL INSPECTION AND VERIFICATIONS FOR CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CONCRETE CONSTRUCTION SPECIAL INSPECTION TABLE (SEE SHEET S0.1).
- B. SEE TABLE 1705.3 OF THE 2012 IBC FOR APPLICABLE REFERENCE STANDARDS.
- C. IN THE ABSENCE OF SUFFICIENT DATA OR DOCUMENTATION PROVIDING EVIDENCE OF CONFORMANCE TO QUALITY STANDARDS FOR MATERIAL IN CHAPTER 3 OF ACI 318, THE BUILDING OFFICIAL SHALL REQUIRE TESTING OF MATERIALS IN ACCORDANCE WITH THE APPROPRIATE STANDARDS AND CRITERIA FOR THE MATERIAL IN CHAPTER 3 OF ACI 318.
4. MASONRY CONSTRUCTION (SECTION 1705.4):
- A. THE QUALITY ASSURANCE PROGRAM SHALL BE IN ACCORDANCE WITH THE MASONRY CONSTRUCTION SPECIAL INSPECTION TABLE (SEE SHEET S0.1).
5. WOOD CONSTRUCTION (SECTION 1705.5):
- A. SPECIAL INSPECTIONS OF THE FABRICATION PROCESS OF PREFABRICATED WOOD STRUCTURAL ELEMENTS AND ASSEMBLIES SHALL BE IN ACCORDANCE WITH SECTION 1704.2.5 OF THE 2012 IBC AND THE SPECIAL INSPECTION OF FABRICATORS SECTION OF THE SPECIAL INSPECTION GENERAL STRUCTURAL NOTES.
- B. SPECIAL INSPECTIONS OF SITE-BUILT ASSEMBLIES SHALL BE IN ACCORDANCE WITH THE WOOD CONSTRUCTION SPECIAL INSPECTION TABLE (SEE SHEET S0.1) AND THE FOLLOWING:
- a. METAL-PLATE-CONNECTED WOOD TRUSS SPANNING 60 FEET OR GREATER: WHERE A TRUSS CLEAR SPAN IS 60 FEET OR GREATER, THE SPECIAL INSPECTOR SHALL VERIFY THAT THE TEMPORARY INSTALLATION RESTRAINT/BRACING AND THE PERMANENT INDIVIDUAL TRUSS MEMBER RESTRAINT/BRACING ARE INSTALLED IN ACCORDANCE WITH THE APPROVED TRUSS SUBMITTAL PACKAGE.
6. SOILS (SECTION 1705.6):
- A. SPECIAL INSPECTION OF EXISTING SITE SOIL CONDITIONS, FILL PLACEMENT AND LOAD-BEARING REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE SOILS SPECIAL INSPECTION TABLE (SEE SHEET S0.1) AND THE FOLLOWING:
- a. THE APPROVED GEOTECHNICAL REPORT AND APPROVED CONSTRUCTION DOCUMENTS SHALL BE USED TO DETERMINE COMPLIANCE.
- b. DURING FILL PLACEMENT, THE SPECIAL INSPECTOR SHALL DETERMINE THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- c. WHERE A GEOTECHNICAL REPORT IS NOT PROVIDED, THE SPECIAL INSPECTOR SHALL VERIFY THAT THE IN-PLACE DRY DENSITY OF THE COMPACTED FILL IS NOT LESS THAN 90 PERCENT OF THE MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT DETERMINED IN ACCORDANCE WITH ASTM D 1557.
7. SPECIAL INSPECTION FOR WIND-RESISTANCE (SECTION 1705.10):
- A. PERIODIC SPECIAL INSPECTION IS REQUIRED FOR THE FOLLOWING SYSTEMS AND COMPONENTS:
- a. ROOF CLADDING
- b. WALL CLADDING
8. SPECIAL INSPECTION FOR SEISMIC-RESISTANCE (SECTION 1705.11):
- A. DESIGNATED SEISMIC SYSTEMS:
- a. THE SPECIAL INSPECTOR SHALL EXAMINE DESIGNATED SEISMIC SYSTEMS REQUIRING SEISMIC QUALIFICATION IN ACCORDANCE WITH SECTION 1705.12.3 OF THE 2012 IBC AND VERIFY THAT THE LABEL, ANCHORAGE OR MOUNTING CONFORMS TO THE CERTIFICATE OF COMPLIANCE.
- b. DESIGNATED SEISMIC SYSTEMS INCLUDE ALL NONSTRUCTURAL COMPONENTS DESIGNED IN ACCORDANCE WITH CHAPTER 13 OF ASCE 7 AND FOR WHICH THE COMPONENT IMPORTANCE FACTOR, *I_p*, IS GREATER THAN 1.0 IN ACCORDANCE WITH SECTION 13.1.3 OF ASCE 7.
- B. ARCHITECTURAL COMPONENTS: PERIODIC SPECIAL INSPECTION IS REQUIRED DURING THE ERECTION AND FASTENING OF EXTERIOR CLADDING, INTERIOR AND EXTERIOR NON-BEARING WALLS AND INTERIOR AND EXTERIOR VENEER.
- C. MECHANICAL AND ELECTRICAL COMPONENTS: SPECIAL INSPECTION FOR MECHANICAL AND ELECTRICAL COMPONENTS SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 1705.11.6 OF THE 2012 IBC.
- D. STORAGE RACKS: PERIODIC SPECIAL INSPECTION IS REQUIRED DURING THE ANCHORAGE OF STORAGE RACKS 8 FEET OR GREATER IN HEIGHT.
9. TESTING AND QUALIFICATION FOR SEISMIC RESISTANCE (SECTION 1705.12):
- A. CONCRETE REINFORCEMENT COMPLYING WITH ASTM A 615 IS USED TO RESIST EARTHQUAKE-INDUCED FLEXURAL AND AXIAL FORCES IN SPECIAL MOMENT FRAMES. SPECIAL STRUCTURAL WALLS AND COUPLING BEAMS CONNECTING SPECIAL STRUCTURAL WALLS, THE REINFORCEMENT SHALL COMPLY WITH SECTION 21.1.5.1 OF ACI 318. CERTIFIED MILL TEST REPORTS SHALL BE PROVIDED FOR EACH SHIPMENT OF SUCH REINFORCEMENT. WHERE REINFORCEMENT COMPLYING WITH ASTM A 615 IS TO BE WELDED, CHEMICAL TESTS SHALL BE PERFORMED TO DETERMINE WELDABILITY IN ACCORDANCE WITH SECTION 3.5.2 OF ACI 318.
- B. SEE MANUFACTURER'S SEISMIC CERTIFICATION OF COMPLIANCE FOR NON-STRUCTURAL COMPONENTS PER SECTION 1705.12.3 OF THE 2012 IBC.

DEFINITIONS:

1. THE FOLLOWING DEFINITIONS APPLY TO ALL SPECIAL INSPECTION TABLES (WHERE APPLICABLE) UNLESS SPECIFICALLY NOTED OTHERWISE.
- A. CONTINUOUS – FULL-TIME OBSERVATION OF WORK REQUIRING SPECIAL INSPECTION BY AN APPROVED SPECIAL INSPECTOR.
- B. PERIODIC – AN APPROVED SPECIAL INSPECTOR MUST OBSERVE THE WORK REQUIRING SPECIAL INSPECTION PRIOR TO COMMENCEMENT OF WORK, INTERMITTENTLY DURING THE WORK, AND AT COMPLETION OF THE WORK.

SOIL SPECIAL INSPECTION PER SECTION 1705.6 OF IBC 2012			
VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	
VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE DESIGN BEARING CAPACITY		X	
VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL		X	
PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS		X	
VERIFY USE OF PROPER MATERIALS, DENSITIES, AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL	X		
PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY SITE HAS BEEN PREPARED PROPERLY		X	

CONCRETE CONSTRUCTION SPECIAL INSPECTION PER SECTION 1705.3 OF IBC 2012			
VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	
REINFORCING STEEL, INCLUDING PRE-STRESSING TENDONS AND PLACEMENT		X	
WELDING OF REINFORCING STEEL:			
VERIFICATION OF WELDABILITY OF REINFORCING STEEL OTHER THAN ASTM A706		X	
REINFORCING STEEL RESISTING FLEXURAL AND AXIAL FORCES IN INTERMEDIATE AND SPECIAL MOMENT FRAMES, AND BOUNDARY ELEMENTS OF SPECIAL STRUCTURAL WALLS OF CONCRETE AND SHEAR REINFORCEMENT	X		
SHEAR REINFORCEMENT	X		
OTHER REINFORCING STEEL		X	
CAST-IN-PLACE ANCHORS		X	
POST-INSTALLED ANCHORS AND / OR DOWELS ^(NOTE 1)		X	
USE OF REQUIRED MIX DESIGN		X	
CONCRETE SAMPLING FOR STRENGTH TESTS, SLUMP, AIR CONTENT, AND TEMPERATURE	X		
CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES	X		
MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES		X	
PRE-STRESSED CONCRETE	X		
ERECTION OF PRE-CAST CONCRETE		X	
IN-SITU CONCRETE STRENGTH		X	
FORMWORK FOR SHAPE, LOCATION, AND DIMENSIONS OF CONCRETE MEMBER BEING FORMED		X	
NOTES:			
1. ALL POST-INSTALLED ANCHORS AND / OR DOWELS SHALL BE SPECIALLY INSPECTED AS REQUIRED BY THE APPROVED ICC-ES REPORT.			

WOOD CONSTRUCTION SPECIAL INSPECTION PER SECTION 1705.5 OF IBC 2012			
VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	
DIAPHRAGMS:			
WOOD STRUCTURAL PANEL SHEATHING (GRADE / THICKNESS)		X	
NOMINAL SIZE OF FRAMING MEMBERS AT ADJOINING PANEL EDGES		X	
NAIL OR STAPLE DIAMETER AND LENGTH		X	
NUMBER OF FASTENER LINES		X	
SPACING BETWEEN FASTENERS IN EACH LINE AND AT EDGE MARGINS		X	
FIELD GLUING OPERATIONS OF WOOD SHEAR WALLS, WOOD DIAPHRAGMS, DRAG STRUTS, BRACES, AND HOLD-DOWNS	X		
NAILING, BOLTING, ANCHORING, AND OTHER FASTENING COMPONENTS WITHIN THE FOLLOWING ELEMENTS: WOOD SHEAR WALLS, WOOD DIAPHRAGMS, DRAG STRUTS, BRACES, AND HOLD-DOWNS		X	
NOTES:			
1. SPECIAL INSPECTION IS NOT REQUIRED FOR WOOD SHEAR WALLS, SHEAR PANELS AND DIAPHRAGMS, INCLUDING NAILING, BOLTING, ANCHORING AND OTHER FASTENING TO OTHER COMPONENTS OF THE WOOD SHEAR WALLS, SHEAR PANELS AND DIAPHRAGMS WHERE THE FASTENER SPACING OF THE SHEATHING IS MORE THAN 4 INCHES ON CENTER.			

STRUCTURAL STEEL SPECIAL INSPECTION OF BOLTED CONNECTIONS PER SECTION 1705.2.1 OF IBC 2012	
INSPECTION TASKS PRIOR TO BOLTING (AISC 360, TABLE N5.6-1)	QA
MANUFACTURER'S CERTIFICATIONS AVAILABLE FOR FASTENER MATERIALS	P
FASTENERS MARKED IN ACCORDANCE WITH ASTM REQUIREMENTS	O
PROPER FASTENERS SELECTED FOR THE JOINT DETAIL (GRADE, TYPE, BOLT LENGTH IF THREADS ARE TO BE EXCLUDED FROM SHEAR PLANE)	O
PROPER BOLTING PROCEDURE SELECTED FOR JOINT DETAIL	O
CONNECTING ELEMENTS, INCLUDING THE APPROPRIATE FAYING SURFACE CONDITION AND HOLE PREPARATION, IF SPECIFIED, MEET APPLICABLE REQUIREMENTS	O
PRE-INSTALLATION VERIFICATION TESTING BY INSTALLATION PERSONNEL OBSERVED AND DOCUMENTED FOR FASTENER ASSEMBLIES AND METHODS USED	O
PROPER STORAGE PROVIDED FOR BOLTS, NUTS, WASHERS, & OTHER FASTENER COMPONENTS	O
INSPECTION TASKS DURING BOLTING (AISC 360, TABLE N5.6-2)	QA
FASTENER ASSEMBLIES, OF SUITABLE CONDITION, PLACED IN ALL HOLES AND WASHERS (IF REQUIRED) ARE POSITIONED AS REQUIRED	O
JOINT BROUGHT TO THE SNUG-TIGHT CONDITION PRIOR TO THE PRE-TENSIONING OPERATION	O
FASTENER COMPONENT NOT TURNED BY THE WRENCH PREVENTED FROM ROTATING	O
FASTENERS ARE PRE-TENSIONED IN ACCORDANCE WITH THE RCSC SPECIFICATION, PROGRESSING SYSTEMATICALLY FROM THE MOST RIGID POINT TOWARD THE FREE EDGES	O
INSPECTION TASKS AFTER BOLTING (AISC 360, TABLE N5.6-3)	QA
DOCUMENT ACCEPTANCE OR REJECTION OF BOLTED CONNECTIONS	P
NOTES:	
1. QUALITY ASSURANCE (QA) BOLTING INSPECTORS SHALL BE QUALIFIED ON THE BASIS OF DOCUMENTED TRAINING AND EXPERIENCE IN STRUCTURAL BOLTING EXPERIENCE.	
2. OBSERVATION OF BOLTING OPERATIONS SHALL BE THE PRIMARY METHOD USED TO CONFIRM THAT THE MATERIALS, PROCEDURES, AND WORKMANSHIP INCORPORATED IN CONSTRUCTION ARE IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS AND THE PROVISIONS OF THE RCSC SPECIFICATION.	
3. FOR SNUG-TIGHT JOINTS, PRE-INSTALLATION VERIFICATION TESTING AS SPECIFIED IN TABLE N5.6-1 AND MONITORING OF THE INSTALLATION PROCEDURES AS SPECIFIED IN TABLE N5.6-2 ARE NOT APPLICABLE. THE QAI NEED NOT BE PRESENT DURING THE INSTALLATION OF FASTENERS IN SNUG-TIGHT JOINTS.	
4. FOR PRE-TENSIONED JOINTS AND SLIP-CRITICAL JOINTS, WHEN THE INSTALLER IS USING THE TURN-OF-NUT METHOD WITH MATCHMARKING TECHNIQUES, THE DIRECT-TENSION-INDICATOR METHOD, OR THE TWIST-OFF-TYPE TENSION CONTROL BOLT METHOD, MONITORING OF BOLT PRE-TENSIONING PROCEDURES SHALL BE AS SPECIFIED IN TABLE N5.6-2. THE QAI NEED NOT BE PRESENT DURING THE INSTALLATION OF FASTENERS WHEN THESE METHODS ARE USED BY THE INSTALLER.	
5. FOR PRE-TENSIONED JOINTS AND SLIP-CRITICAL JOINTS, WHEN THE INSTALLER IS USING THE CALIBRATED WRENCH METHOD OR THE TURN-OF-NUT METHOD WITHOUT MATCHMARKING, MONITORING OF BOLT PRE-TENSIONING PROCEDURES SHALL BE AS SPECIFIED IN TABLE N5.6-2. THE QAI SHALL BE ENGAGED IN THEIR ASSIGNED INSPECTION DUTIES DURING INSTALLATION OF FASTENERS WHEN THESE METHODS ARE USED BY THE INSTALLER.	
DEFINITIONS:	
6. O – OBSERVE THESE ITEMS ON A RANDOM BASIS, DAILY BASIS. OPERATIONS NEED NOT BE DELAYED PENDING THESE INSPECTIONS.	
7. P – PERFORM TASK FOR EACH WELDED JOINT OR MEMBER.	

STRUCTURAL STEEL SPECIAL INSPECTION OF WELDED CONNECTIONS PER SECTION 1705.2.1 OF IBC 2012	
INSPECTION TASKS PRIOR TO WELDING (AISC 360, TABLE N5.4-1)	QA
WELDING PROCEDURE SPECIFICATIONS (WPSs) AVAILABLE	P
MANUFACTURER CERTIFICATIONS FOR WELDING CONSUMABLE AVAILABLE	P
MATERIAL IDENTIFICATION (TYPE/GRADE)	O
WELDER IDENTIFICATION SYSTEM ^(NOTE 9)	O
FIT-UP OF GROOVE WELDS (INCLUDING JOINT GEOMETRY)	O
JOINT PREPARATION	
DIMENSIONS (ALIGNMENT, ROOT OPENING, ROOT FACE, BEVEL)	
CLEANLINESS (CONDITION OF STEEL SURFACES)	
TACKING (TACK WELD QUALITY AND LOCATION)	
BACKING TYPE AND FIT (IF APPLICABLE)	
CONFIGURATION AND FINISH OF ACCESS HOLES	O
FIT-UP OF FILLET WELDS	O
DIMENSIONS (ALIGNMENT, GAPS AT ROOT)	
CLEANLINESS (CONDITION OF STEEL SURFACES)	
TACKING (TACK WELD QUALITY AND LOCATION)	
INSPECTION TASKS DURING WELDING (AISC 360, TABLE N5.4-2)	QA
USE OF QUALIFIED WELDERS	O
CONTROL & HANDLING OF WELDING CONSUMABLES	O
PACKAGING	
EXPOSURE CONTROL	
NO WELDING OVER CRACKED TACK WELDS	O
ENVIRONMENTAL CONDITIONS	O
WIND SPEED WITHIN LIMITS	
PRECIPITATION AND TEMPERATURE	
WPS FOLLOWED	O
SETTINGS ON WELDING EQUIPMENT	
TRAVEL SPEED	
SELECTED WELDING MATERIALS	
SHIELDING GAS TYPE / FLOW RATE	
PREHEAT APPLIED	
INTERPASS TEMPERATURE MAINTAINED (MIN. / MAX.)	
PROPER POSITION (F, V, H, OH)	
WELDING TECHNIQUES	O
INTERPASS AND FINAL CLEANING	
EACH PASS WITHIN PROFILE LIMITATIONS	
EACH PASS MEETS QUALITY REQUIREMENTS	
INSPECTION TASKS AFTER WELDING (AISC 360, TABLE N5.4-3)	QA
WELDS CLEANED	O
SIZE, LENGTH, AND LOCATION OF WELDS	P
WELDS MEET VISUAL ACCEPTANCE CRITERIA	P
CRACK PROHIBITION	
WELD / BASE-METAL FUSION	
CRATER CROSS SECTION	
WELD PROFILES	
WELD SIZE	
UNDERCUT	
POROSITY	
ARC STRIKES	P
k-STRIKES ^(NOTE 10)	P
PLACEMENT OF REINFORCING OR CONTOURING FILLET WELDS (IF REQUIRED)	P
BACKING REMOVED, WELD TABS REMOVED (IF REQUIRED)	P
REPAIR ACTIVITIES	P
DOCUMENT ACCEPTANCE OR REJECTION OF WELDED JOINT OR MEMBER	P
NOTES:	
1. QUALITY ASSURANCE (QA) WELDING INSPECTORS SHALL BE QUALIFIED IN ACCORDANCE WITH SECTION N4.2 OF AISC 360.	
2. OBSERVATION OF WELDING OPERATIONS AND VISUAL INSPECTION OF IN-PROCESS AND COMPLETED WELDS SHALL BE THE PRIMARY METHOD TO CONFIRM THAT THE MATERIALS, PROCEDURES AND WORKMANSHIP ARE IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. FOR STRUCTURAL STEEL, ALL PROVISIONS OF AWS D1.1/D1.1M, STRUCTURAL WELDING CODE – STEEL, FOR STATICALLY LOADED STRUCTURES SHALL APPLY.	
3. NON-DESTRUCTIVE TESTING (NDT) PERSONNEL SHALL BE QUALIFIED IN ACCORDANCE WITH SECTION N4.2 OF AISC 360.	
4. NDT OF WELDED JOINTS SHALL COMPLY WITH SECTION N5.5 OF AISC 360.	
5. ALL NDT PERFORMED SHALL BE DOCUMENTED. FOR SHOP FABRICATION, THE NDT REPORT SHALL IDENTIFY THE TESTED WELD BY PIECE MARK AND LOCATION IN THE PIECE. FOR FIELD WORK, THE NDT REPORT SHALL IDENTIFY THE TESTED WELD BY LOCATION IN THE STRUCTURE, PIECE MARK, AND LOCATION IN THE PIECE.	
6. THE FABRICATOR OR ERECTOR, AS APPLICABLE, SHALL MAINTAIN A SYSTEM BY WHICH A WELDER WHO HAS WELDED A JOINT OR MEMBER CAN BE IDENTIFIED. STAMPS, IF USED, SHALL BE THE LOW-STRESS TYPE.	
7. WHEN WELDING OF DOUBLER PLATES, CONTINUITY PLATES OR STIFFENERS HAS BEEN PERFORMED IN THE k-AREA, VISUALLY INSPECT THE WEB k-AREA FOR CRACKS WITHIN 3 INCHES OF THE WELD.	
DEFINITIONS:	
8. O – OBSERVE THESE ITEMS ON A RANDOM BASIS, DAILY BASIS. OPERATIONS NEED NOT BE DELAYED PENDING THESE INSPECTIONS.	
9. P – PERFORM TASK FOR EACH WELDED JOINT OR MEMBER.	



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CLIENT INFORMATION:
Owner

**TENDER CARE HOSPICE
ASSISTED LIVING FACILITY**
**5TH NORTH AND 1ST EAST STREET
PRICE CITY, UTAH**



4/25/16

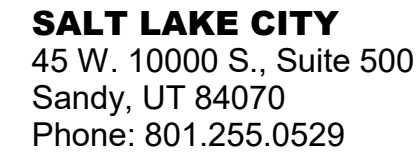
PERMIT 03/08/16

NO. DATE REVISION

**SPECIAL
INSPECTION**

PROJECT NUMBER
6803
DATE
12-31-15
DRAWN BY
R. MALIGON
PROJECT ENGINEER
A. HAWKINS
PROJECT MANAGER
C. DUNCAN

S0.1



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CLIENT INFORMATION:
Owner

**TENDER CARE HOSPICE
ASSISTED LIVING FACILITY**

**55TH NORTH AND 1ST EAST STREET
PRICE CITY, UTAH**



NO.	DATE	REVISION
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STRUCTURAL SCHEDULES

S0.2

WALL STUD SCHEDULE				
MARK	SIZE	GRADE	SPACING	COMMENTS
WS1	2 x 6	STUD	16" O.C.	TYP. AT ALL EXTERIOR WALLS, U.N.O.
WS2	2 x 4	STUD	16" O.C.	TYP. AT ALL INT. WALLS, U.N.O.

FOOTING SCHEDULE												
MARK	WIDTH	LENGTH	THICKNESS	LONGITUDINAL REINF.				TRANSVERSE REINF.				COMMENTS
				NO.	SIZE	LENGTH	SPACING	NO.	SIZE	LENGTH	SPACING	
FS4.0	4'-0"	4'-0"	18"	5	#5	3'-6"	EVENLY	5	#5	3'-6"	EVENLY	TOP & BOTTOM
<u>NOTES:</u>				<div>FOR CONSTRUCTION ABOVE FOOTINGS, SEE DETAILS</div> <div></div>								
1. ALL REBAR GRADE 60. 2. LOCATE REBAR 3" CLEAR FROM BOTTOM OF FOOTING, UNLESS NOTED OTHERWISE. 3. ALL NEW FOOTINGS SHALL BE PLACED ON PROPERLY COMPACTED ENGINEERED FILL PER GEOTECHNICAL REPORT. 4. CONTRACTOR TO DETERMINE REQUIRED DEPTH OF FOOTING TO MEET FROST PROTECTION. 5. FOOTINGS HAVE BEEN DESIGNED FOR FC = 2,500 PSI. NO SPECIAL INSULATION IS REQUIRED												

CONCRETE REINFORCING SPLICE LENGTH SCHEDULE																					
BAR SIZE	BAR DIAMETER (IN.)	f'c = 3,000 PSI				f'c = 3,500 PSI				f'c = 4,000 PSI				f'c = 5,000 PSI				f'c = 6,500 PSI			
		TYPICAL SPLICE (IN)		TOP BAR SPLICE (IN)		TYPICAL SPLICE (IN)		TOP BAR SPLICE (IN)		TYPICAL SPLICE (IN)		TOP BAR SPLICE (IN)		TYPICAL SPLICE (IN)		TOP BAR SPLICE (IN)		TYPICAL SPLICE (IN)		TOP BAR SPLICE (IN)	
		CLASS 'A'	CLASS 'B'	CLASS 'A'	CLASS 'B'	CLASS 'A'	CLASS 'B'	CLASS 'A'	CLASS 'B'	CLASS 'A'	CLASS 'B'	CLASS 'A'	CLASS 'B'	CLASS 'A'	CLASS 'B'	CLASS 'A'	CLASS 'B'	CLASS 'A'	CLASS 'B'	CLASS 'A'	CLASS 'B'
3	0.375	17	22	22	29	16	21	20	26	15	20	19	25	13	17	17	22	12	16	15	20
4	0.500	22	29	29	38	21	27	27	35	12	25	25	33	17	22	23	30	15	20	20	26
5	0.625	28	36	36	47	26	34	34	43	24	31	31	40	22	29	29	38	19	25	25	33
6	0.750	33	43	43	56	31	40	40	52	29	38	37	48	26	34	34	44	23	30	30	39
7	0.875	48	63	63	82	45	59	59	75	42	55	54	70	38	49	49	64	33	43	43	56
8	1.000	55	72	72	94	51	66	66	86	48	62	62	81	43	56	56	73	38	49	49	64
9	1.128	62	81	81	105	58	75	75	98	54	70	70	91	48	62	63	82	42	55	55	72
10	1.270	70	91	91	118	65	85	85	109	61	79	79	103	54	70	71	92	48	62	62	81
11	1.410	78	101	101	131	72	94	94	121	67	87	87	113	60	78	78	101	53	69	69	90
NOTES:																					
1. ALL LAP SPLICE LENGTHS ARE CLASS "A" UNLESS NOTED OTHERWISE ON PLANS.																					
2. HORIZONTAL BARS ARE CLASSIFIED AS TOP BARS WHERE 12" OR MORE OF FRESH CONCRETE IS CAST BELOW SPLICE.																					
3. FOR ALL EPOXY-COATED BARS, SPLICE LENGTHS SHALL BE MULTIPLIED BY: 1.5 WHEN CLEAR COVER IS LESS THAN 3db AND CLEAR SPACING IS LESS THAN 6db, OR 1.2 FOR ALL OTHER EPOXY-COATED BARS.																					
4. FOR ALL LIGHT-WEIGHT CONCRETE, SPLICE LENGTHS SHALL BE MULTIPLIED BY 1.33.																					

MICRO PILE SCHEDULE						
MARK	DESIGN LOADS (KIPS)					COMMENTS
	DEAD	LIVE	SNOW	WIND	SEISMIC	
○ MP-45	27.2	10.0	9.2	4.4	4.0	
○ MP-30	15.0	6.5	6.0	4.4	4.0	
<u>NOTES:</u> 1. MICRO-PILE DESIGN BY GEOTECHNICAL ENGINEER. DESIGN SHALL BE REVIEWED BY E.O.R. FOR COMPLIANCE WITH STRUCTURAL DESIGN.						

PROFESSIONAL STRUCTURAL ENGINEER
No. 175238
DAVID B. ALTER
STATE OF UTAH
4/25/16

PERMIT 03/08/16

NO.	DATE	REVISION

S0.3

ROOF BEAM SCHEDULE								
MARK	QUANTITY	SIZE	TYPE	BUILT-UP FASTENERS			MIN. POST	COMMENTS
				SIZE	ROWS	SPACING		
HRB	(2)	2 X 8	DFLN #2	10d COMMON	2	12	(2) 2x	-
RB1	(2)	2 X 10	DFLN #2	10d COMMON	2	12	(2) 2x	-
RB2	(3)	2 X 10	DFLN #2	10d COMMON	2	12	(2) 2x	-
RB3	(2)	2 X 12	DFLN #2	10d COMMON	2	12	(2) 2x	-
RB4	(3)	2 X 12	DFLN #2	10d COMMON	3	12	(3) 2x	-
RB5	(2)	1 3/4" X 7 1/4"	2.0E MICROLLAM LVL	16d COMMON	2	12	(2) 2x	-
RB6	(3)	1 3/4" X 7 1/4"	2.0E MICROLLAM LVL	16d COMMON	2	12	(2) 2x	-
RB7	(1)	1 3/4" X 9 1/2"	2.0E MICROLLAM LVL	--	--	--	(2) 2x	-
RB8	(2)	1 3/4" X 9 1/2"	2.0E MICROLLAM LVL	16d COMMON	2	12	(2) 2x	-
RB9	(3)	1 3/4" X 9 1/2"	2.0E MICROLLAM LVL	16d COMMON	2	12	(2) 2x	-
RB10	(1)	1 3/4" X 11 7/8"	2.0E MICROLLAM LVL	--	--	--	(2) 2x	-
RB11	(2)	1 3/4" X 11 7/8"	2.0E MICROLLAM LVL	16d COMMON	2	12	(3) 2x	-
RB12	(3)	1 3/4" X 11 7/8"	2.0E MICROLLAM LVL	16d COMMON	3	12	(4) 2x	-
RB13	(1)	1 3/4" X 14"	2.0E MICROLLAM LVL	--	--	--	(3) 2x	-
RB14	(2)	1 3/4" X 14"	2.0E MICROLLAM LVL	16d COMMON	3	12	(3) 2x	-
RB15	(3)	1 3/4" X 14"	2.0E MICROLLAM LVL	16d COMMON	3	12	(4) 2x	-
RB16	(1)	1 3/4" X 16"	2.0E MICROLLAM LVL	--	--	--	(3) 2x	-
RB17	(2)	1 3/4" X 16"	2.0E MICROLLAM LVL	16d COMMON	3	12	(3) 2x	-
RB18	(3)	1 3/4" X 16"	2.0E MICROLLAM LVL	16d COMMON	3	12	(4) 2x	-
RB19	(1)	1 3/4" X 18"	2.0E MICROLLAM LVL	--	--	--	(3) 2x	-
RB20	(2)	1 3/4" X 18"	2.0E MICROLLAM LVL	16d COMMON	3	12	(4) 2x	-
RB21	(3)	1 3/4" X 18"	2.0E MICROLLAM LVL	16d COMMON	3	12	(4) 2x	-
RB22	(1)	5 1/8" X 24"	24F-V4 GLB	--	--	--	(4) 2x	-
RB23	(1)	5 1/8" X 24"	24F-V8 GLB	--	--	--	(4) 2x	-
RB24	(1)	6 3/4" X 24"	24F-4 GLB	--	--	--	(5) 2x	-

NOTES:

1.

FASTENERS ARE FROM (1) SIDE FOR (2) PLY BEAMS, BOTH SIDES FOR (3) PLY BEAMS AND THRU-BOLTED FOR (4) PLY BEAMS.

2.

FASTENERS ROWS ARE 2' FROM TOP AND BOTTOM OF BEAM. THIRD ROW OF FASTENERS IS CENTERED IF REQUIRED.

3.

STAGGER ALL ROWS OF FASTENERS.

4.

SOME BEAMS MAY BE UNUSED, SEE PLAN FOR REQUIREMENTS.

5.

SEE THE "BUILT-UP BEAM FASTENERS" DETAIL FOR FURTHER CLARIFICATION.

6.

ALL POSTS ARE TO MATCH THE WIDTH AND MATERIAL OF THE WALL IN WHICH THE POST OCCURS.

SNOW DRIFT LOADING DIAGRAM

STEEL COLUMN BASE PLATE

SBP-1 and **SBP-2** diagrams show a steel column base plate with dimensions A, B, and B/2. Weld requirements include 3/16" fillet weld at wall thickness 1/4" or less, 1/4" fillet weld at wall thickness 5/16" & 3/8", and 3/8" fillet weld at wall thickness greater than 3/8". Other details include anchor bolts with double nuts, steel plate washers, and edge distances.

STEEL CAP PLATES (PLAN VIEW)

SCP-A and **SCP-B** diagrams show steel cap plates with dimensions A, B, C, and D. Weld requirements are similar to the base plates. A note specifies A = 1 1/2" MIN.

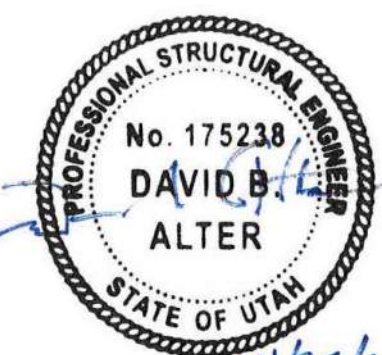
TYPICAL PLATE WASHERS, HOLE SIZES & EDGE DISTANCES @ STEEL COLUMN BASE PLATES

F 1556 GRADE 36 ANCHOR BOLT DIA.	STEEL PLATE WASHER (A36)	HOLE SIZE @ STEEL PLATE WASHER	OVERSIZED HOLE @ STEEL BASE PLATE	EDGE DISTANCE OF BASE PLATE TO CENTERLINE OF HOLE
3/4"	3/8" x 2 1/2" x 2 1/2"	13/16"	15/16"	1 1/2"
7/8"	1/2" x 2 3/4" x 2 3/4"	15/16"	1 1/16"	1 3/4"
1"	1/2" x 3 1/4" x 3 1/4"	1 1/16"	1 1/4"	2"
1 1/4"	5/8" x 3 1/2" x 3 1/2"	1 5/16"	1 9/16"	2 1/4"
1 1/2"	5/8" x 3 3/4" x 3 3/4"	1 9/16"	1 13/16"	2 1/2"

STEEL COLUMN ANCHOR BOLTS (GRADE A36)

TYPE "A", **TYPE "B"**, and **TYPE "C"** diagrams show anchor bolts with dimensions for embedment length, hook size (2" MIN. STANDARD HOOK), and nut/washer details. A note states: NOTE: CONTRACTOR SHALL COORDINATE ANCHOR BOLT EXTENSIONS & THREAD LENGTHS.

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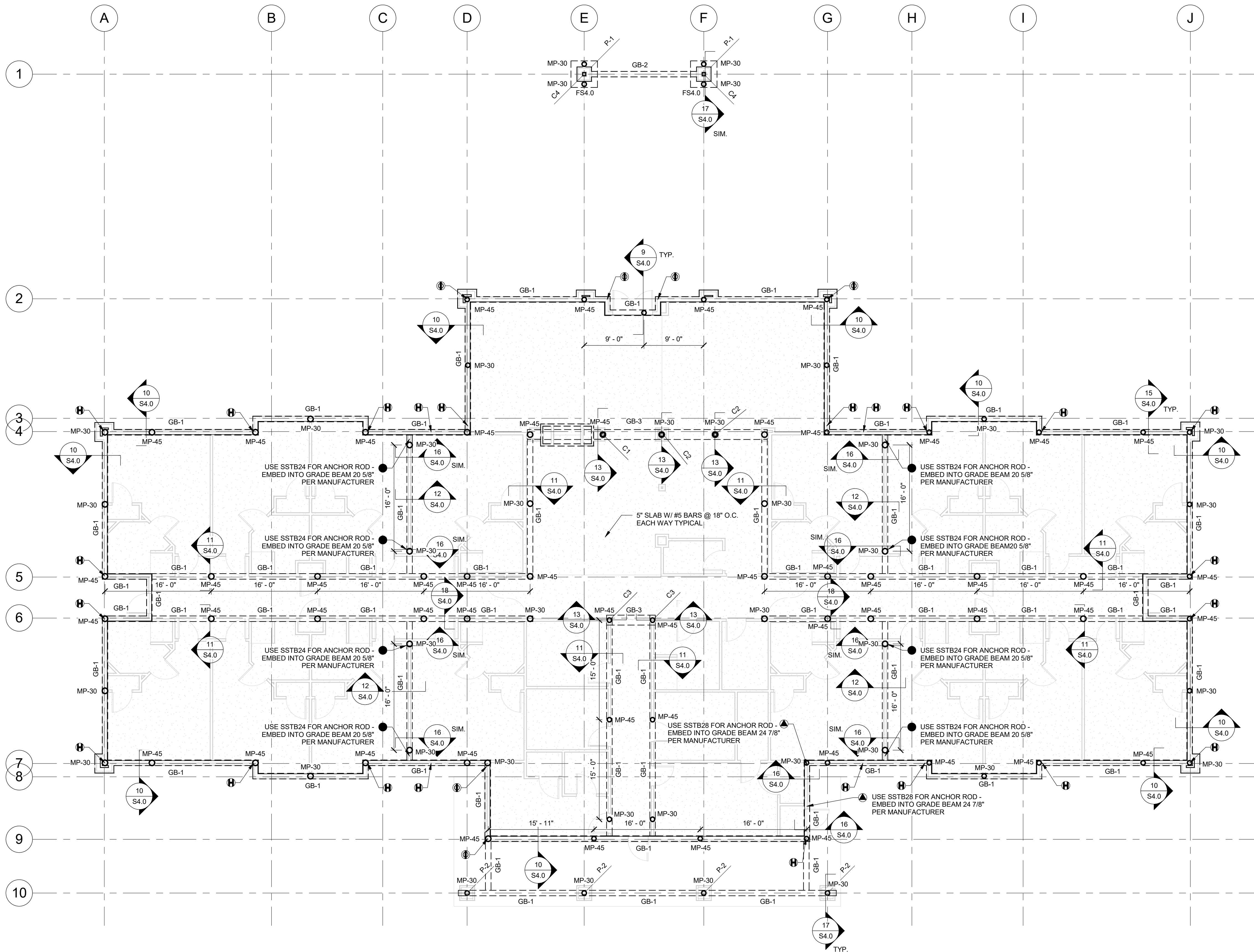
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NO. DATE REVISION

**FOOTING &
FOUNDATION
PLAN**

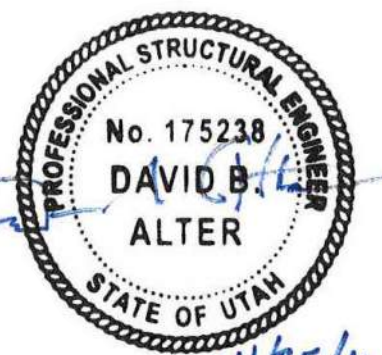
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6803
DATE
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R. MALIGON
PROJECT ENGINEER
A. HAWKINS
PROJECT MANAGER
C. DUNCAN

S1.0



1 FOOTING & FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

**TENDER CARE HOSPICE
ASSISTED LIVING FACILITY**
5TH NORTH AND 1ST EAST STREET
PRICE CITY, UTAH



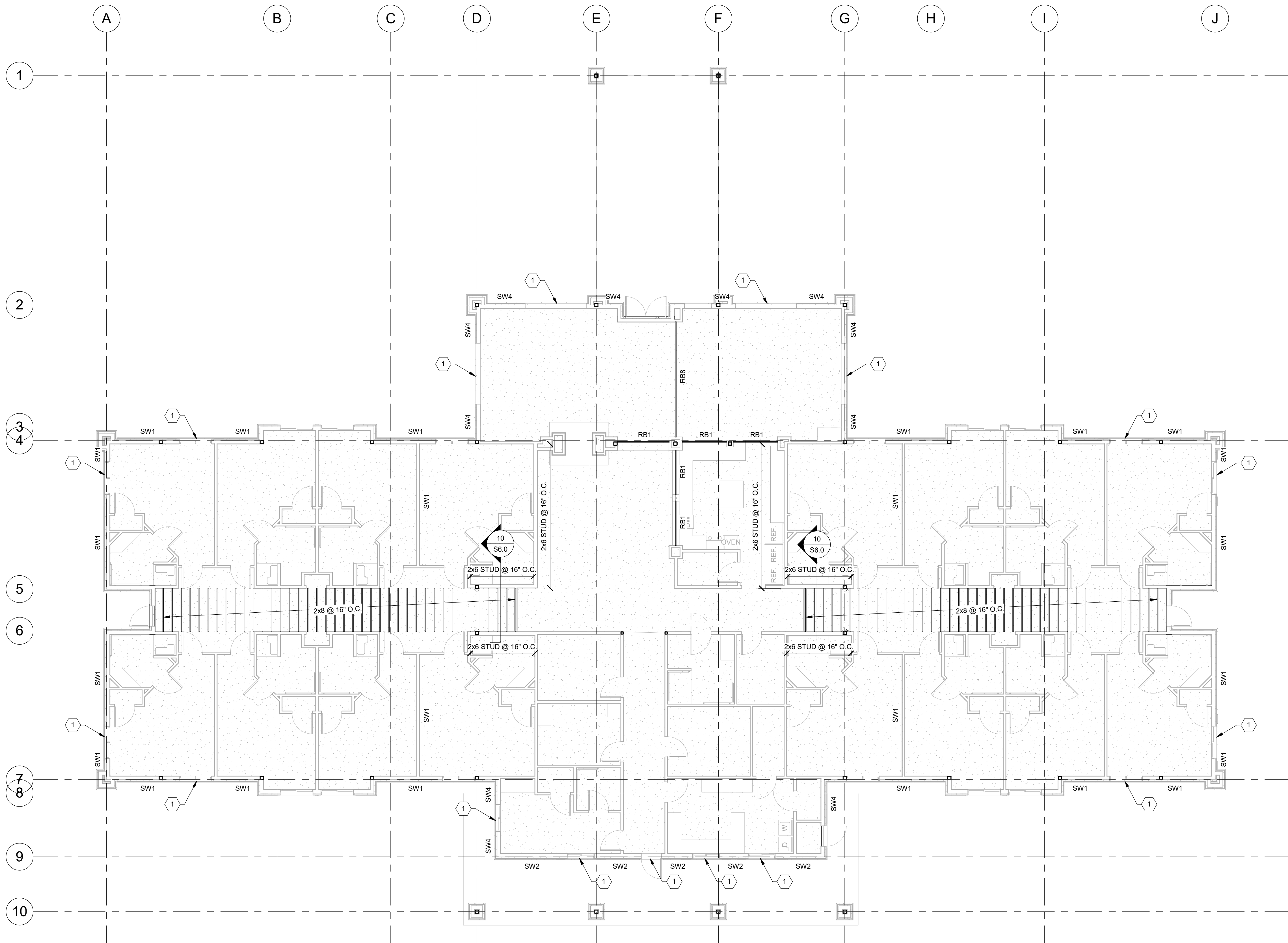
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**WALL
FRAMING
PLAN**

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PROJECT ENGINEER
A. HAWKINS
PROJECT MANAGER
C. DUNCAN

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SHEAR WALL KEYED NOTES

1 PERFORATED SHEAR WALL
SHEATH ABOVE AND BELOW
OPENING ACCORDING TO
ADJACENT SHEAR WALLS.

**TENDER CARE HOSPICE
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5TH NORTH AND 1ST EAST STREET
PRICE CITY, UTAH

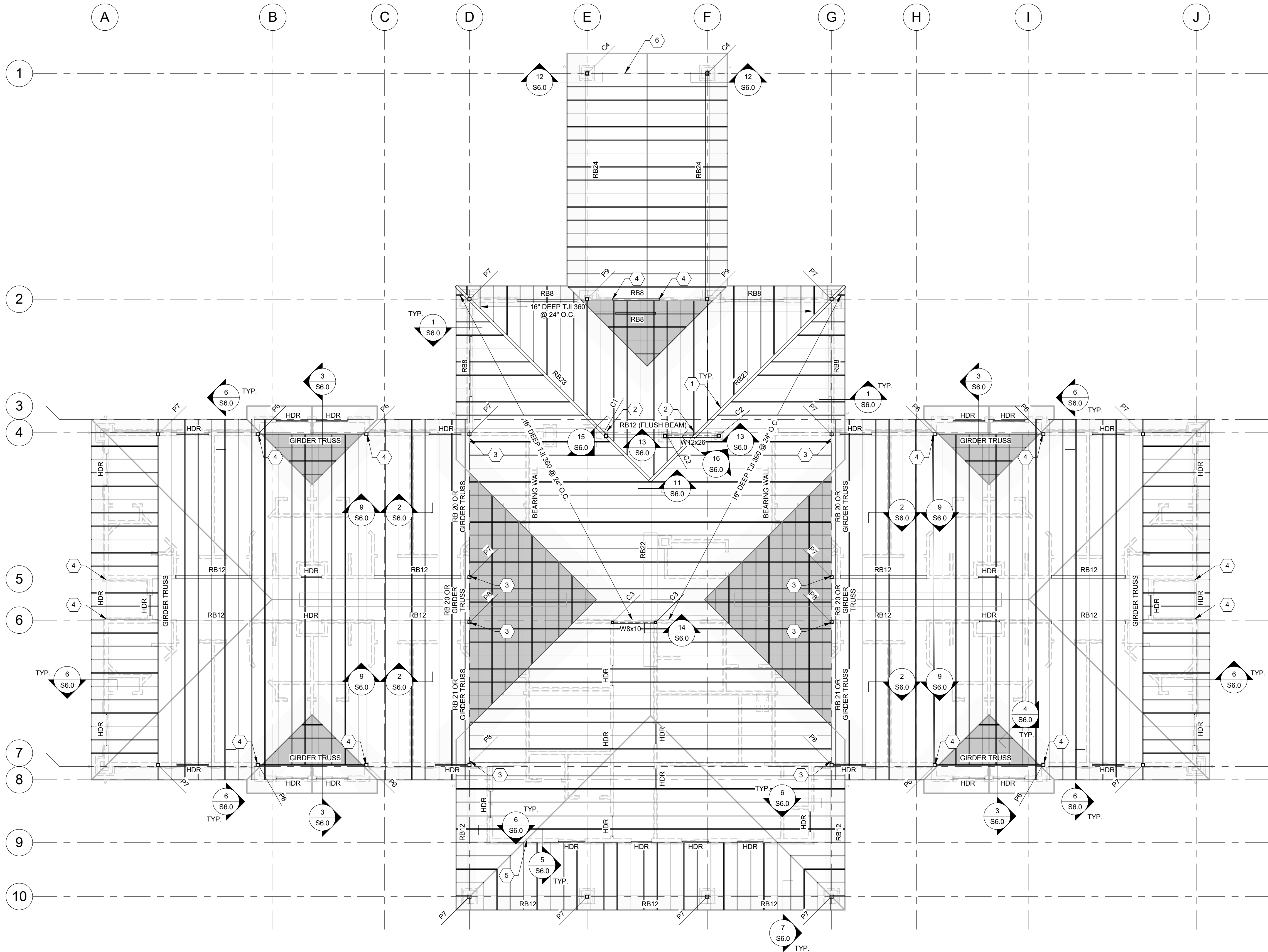


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**ROOF
FRAMING
PLAN**

PROJECT NUMBER
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DATE
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DRAWN BY
R. MALIGON
PROJECT ENGINEER
A. HAWKINS
PROJECT MANAGER
C. DUNCAN

S3.0



**ROOF FRAMING PLAN
KEYED NOTES**

1. SKEWED/SLOPED HANGER SIMPSON LSSU H310 OR U3516/20\" SK 45 SLD18 WEB STIFFENERS REQUIRED
2. SIMPSON GLTV5.511 x SK 45 LVL TO GLB
3. STRAP BEAM TO ADJACENT BEAM OR TOP PLATE W/ (2) SIMPSON MSTC40 SEE 3/S5.0, 4/S5.0, AND 6/S5.0
4. STRAP BEAM TO ADJACENT BEAM OR TOP PLATE W/ (2) 22\" LONG CS16 SEE 3/S5.0, 4/S5.0, AND 6/S5.0
5. TRUSS MANUFACTURER TO PROVIDE BLOCKING TO RESIST 75 PLF
6. DRAG TRUSS W/ 5 KIP CAPACITY AND (2) SIMPSON TBE6 EACH END.

ROOF FRAMING GENERAL NOTES

1. FOR GENERAL STRUCTURAL NOTES, SEE SHEET S0.0
2. REFER TO ARCHITECTURAL PLANS FOR ALL DIMENSIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE STARTING CONSTRUCTION. **DO NOT** SCALE DRAWINGS.
3. PROVIDE SIMPSON H1 CLIPS AT TRUSS OR RAFTER BEARING LOCATIONS.
4. SUPPORT ALL GIRDER TRUSSES WITH (2) 2x6 POST MIN., UNLESS NOTED OTHERWISE.
5. ALL SPECIFIED HARDWARE IS SIMPSON STRONG-TIE.
6. INSTALL ALL HARDWARE PER MANUFACTURERS SPECIFICATIONS.
7. CONTACT ENGINEER FOR ALL HARDWARE SUBSTITUTIONS.
8. ALL OPENINGS THROUGH FLOORS AND WALLS ARE NOT SHOWN. COORDINATE PENETRATION REQUIREMENTS (ADDITIONAL FRAMING ELEMENTS &/OR REINFORCING) AND LOCATIONS WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND TYPICAL DETAILS.
9. THIS TRUSS LAYOUT IS DESIGNED BY ENSIGN ENGINEERING. WHEN A TRUSS COMPANY IS SELECTED, THE DRAWINGS ARE TO BE SUBMITTED TO ENGINEER FOR APPROVAL.
10. FRAME ROOF WITH PRE-ENGINEERED TRUSSES @ 24\" O.C. UNLESS NOTED OTHERWISE.

ROOF SHEATHING NOTES

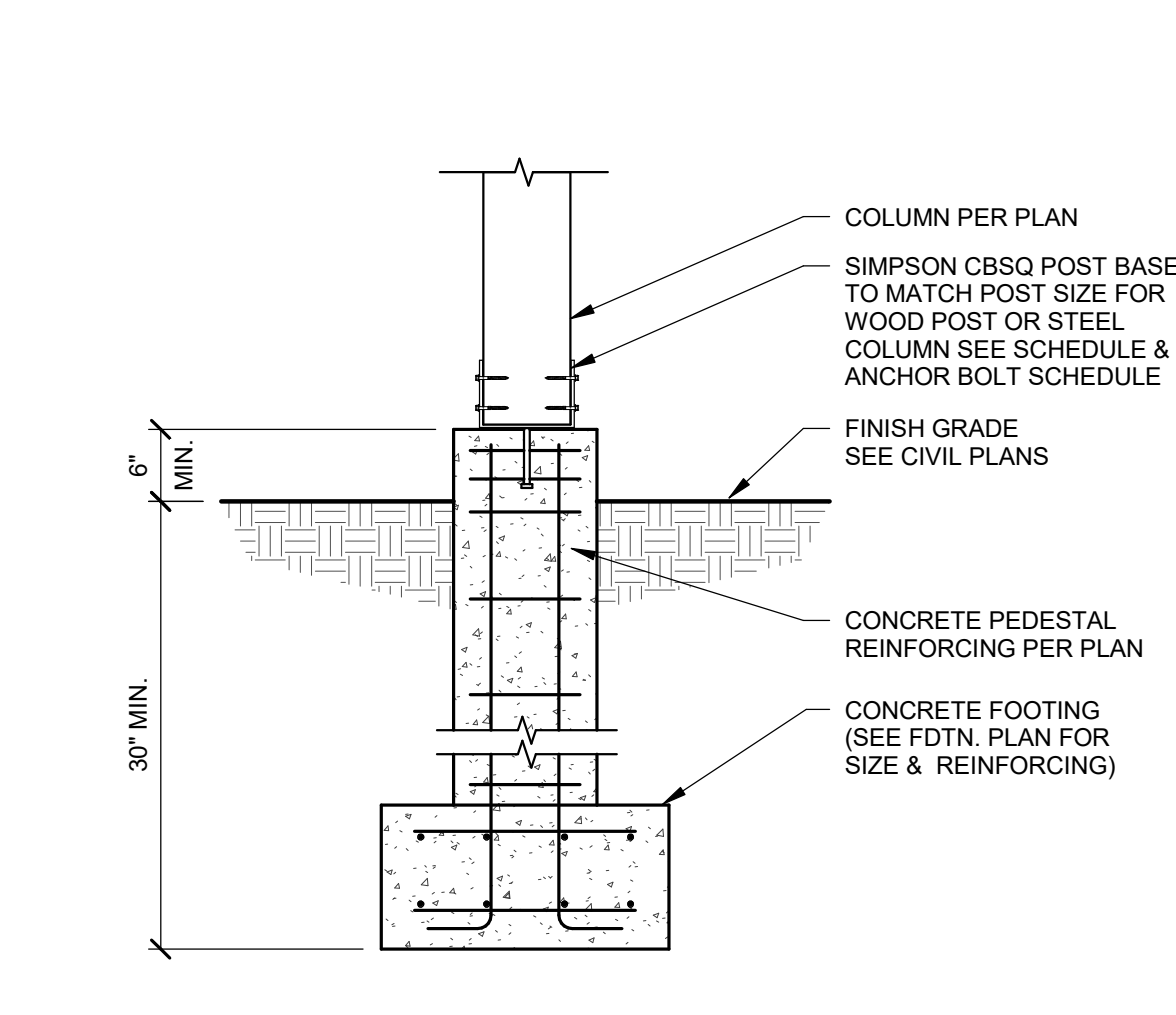
1. PROVIDE 5/8\" 24/16 APA RATED SHEATHING, U.N.O.
2. NAIL PANELS W/ 10d COMMON @ 6\" EDGE / 12\" FIELD.
3. PROVIDE H CLIPS AT ALL UNSUPPORTED PANEL EDGES.
4. PROVIDE 1/8\" GAP BETWEEN PANELS AT INSTALLATION.
5. SHEATH COMPLETELY UNDER ALL OVERBUILD AREAS.

ROOF OVERBUILD NOTES

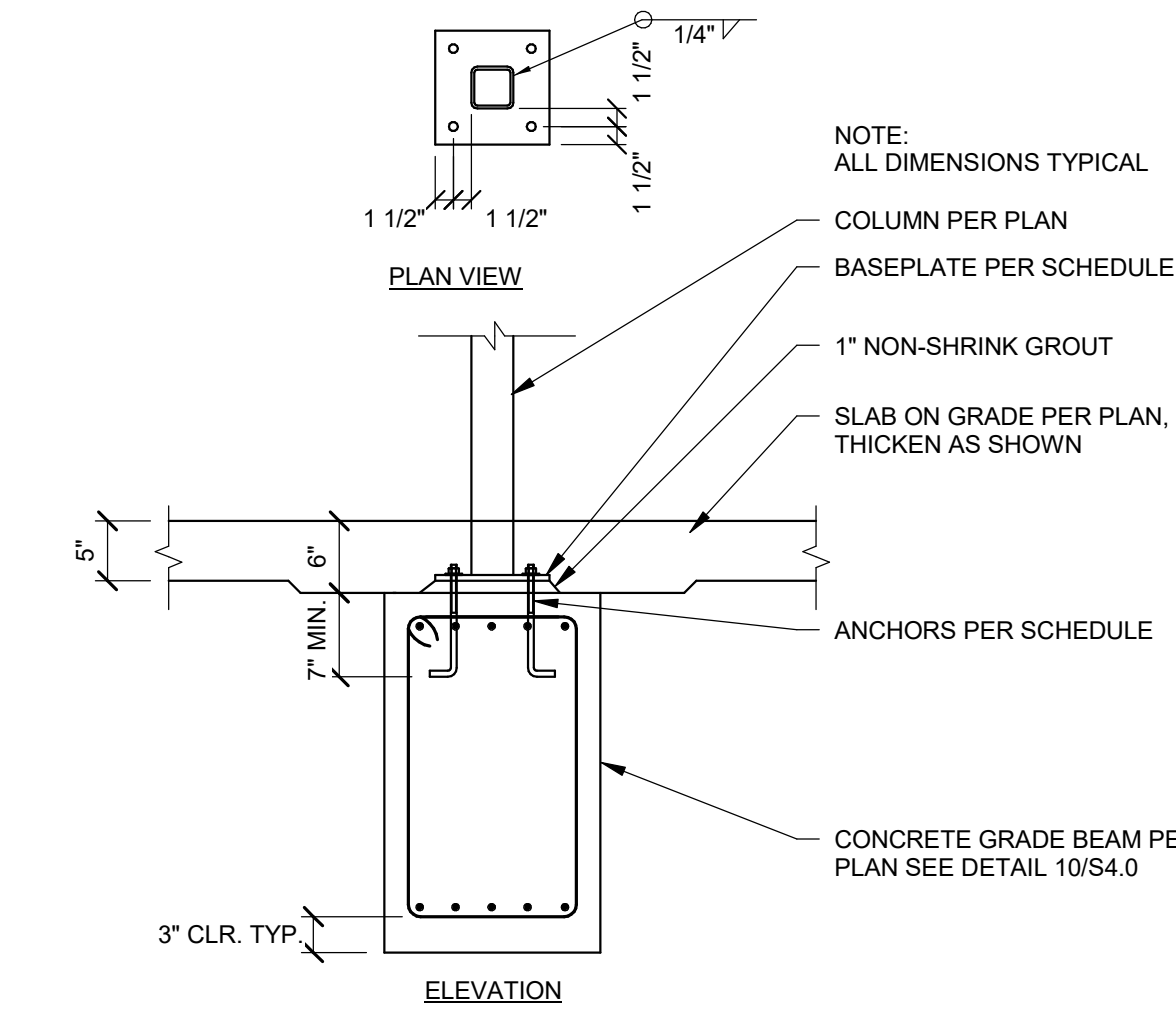
1. PROVIDE 2x8 DFLN#2 JOISTS @ 24\" O.C.
2. BRACE JOISTS @ 8'-0\" O.C. MAX.
3. PROVIDE 2x8 DFLN#2 RIDGE BOARD.
4. BRACE RIDGE @ 4'-0\" O.C. MAX.
5. PROVIDE 2x8 DFLN#2 VALLEY MEMBERS LAID FLAT.
6. NAIL VALLEY MEMBERS W/ (2) 16d COMMON PER TRUSS.
7. BRACE RIDGE AND JOISTS SUCH THAT LOAD IS UNIFORMLY DISTRIBUTED TO FRAMING BELOW.
8. PROVIDE ACCESS AND VENTILATION AS REQUIRED.

STUD FRAMING NOTES

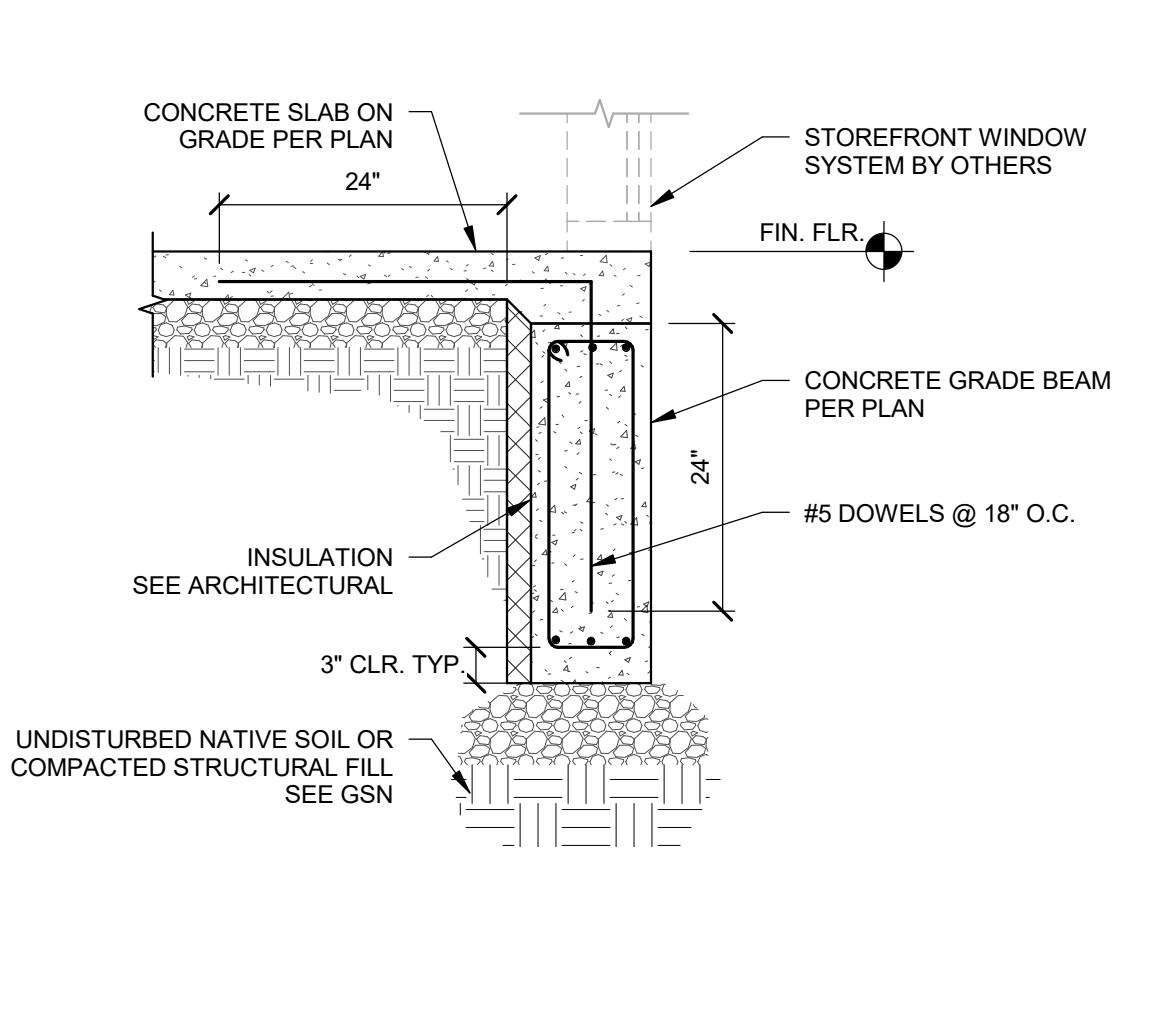
1. EXTERIOR BEARING WALLS SHALL BE 2x6 DF STUD @ 16\" O.C.
2. INTERIOR BEARING WALLS SHALL BE 2x4 DF STUD @ 16\" O.C.



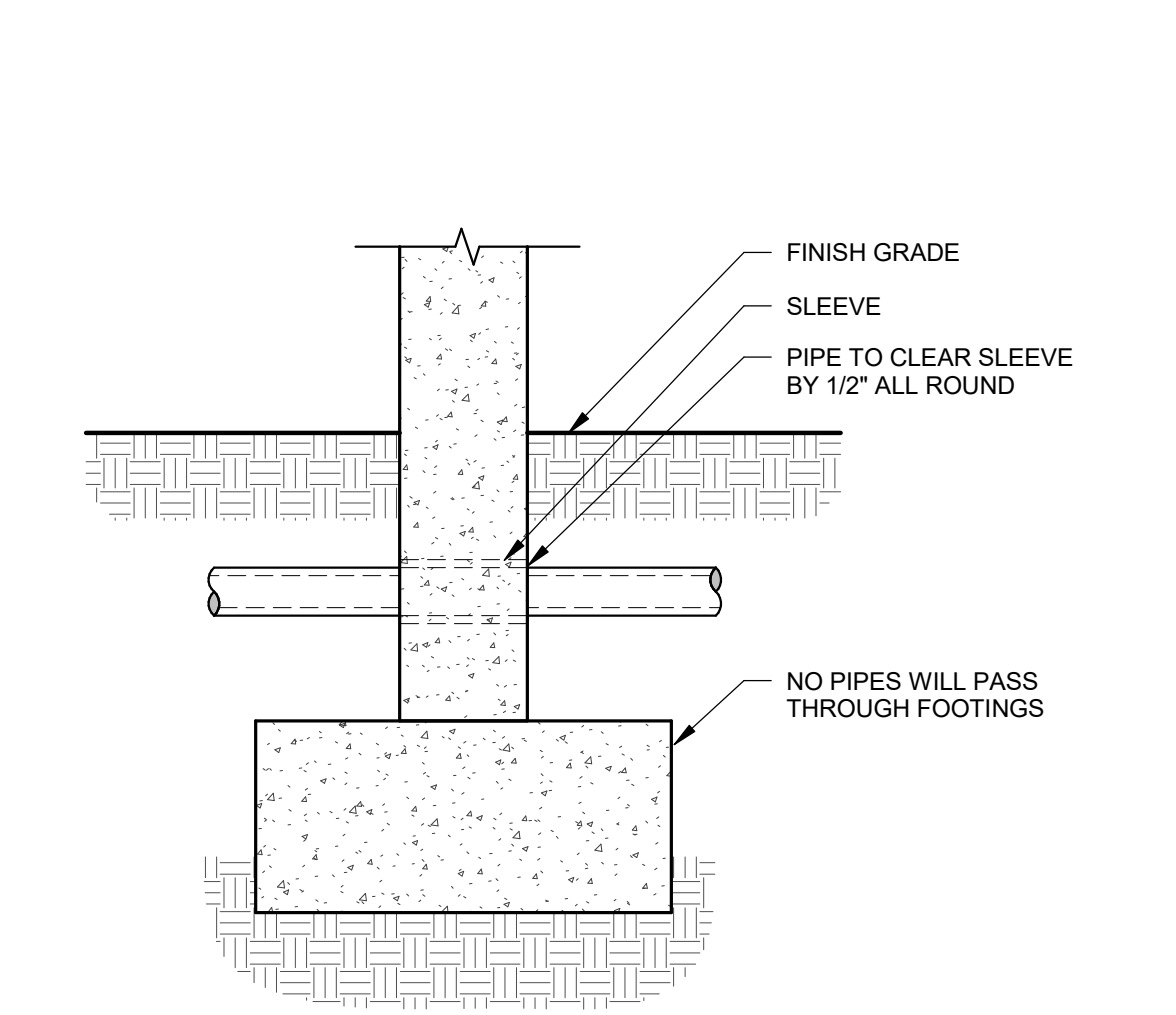
17 WOOD POST @ CONC. PIER
SCALE: N.T.S.



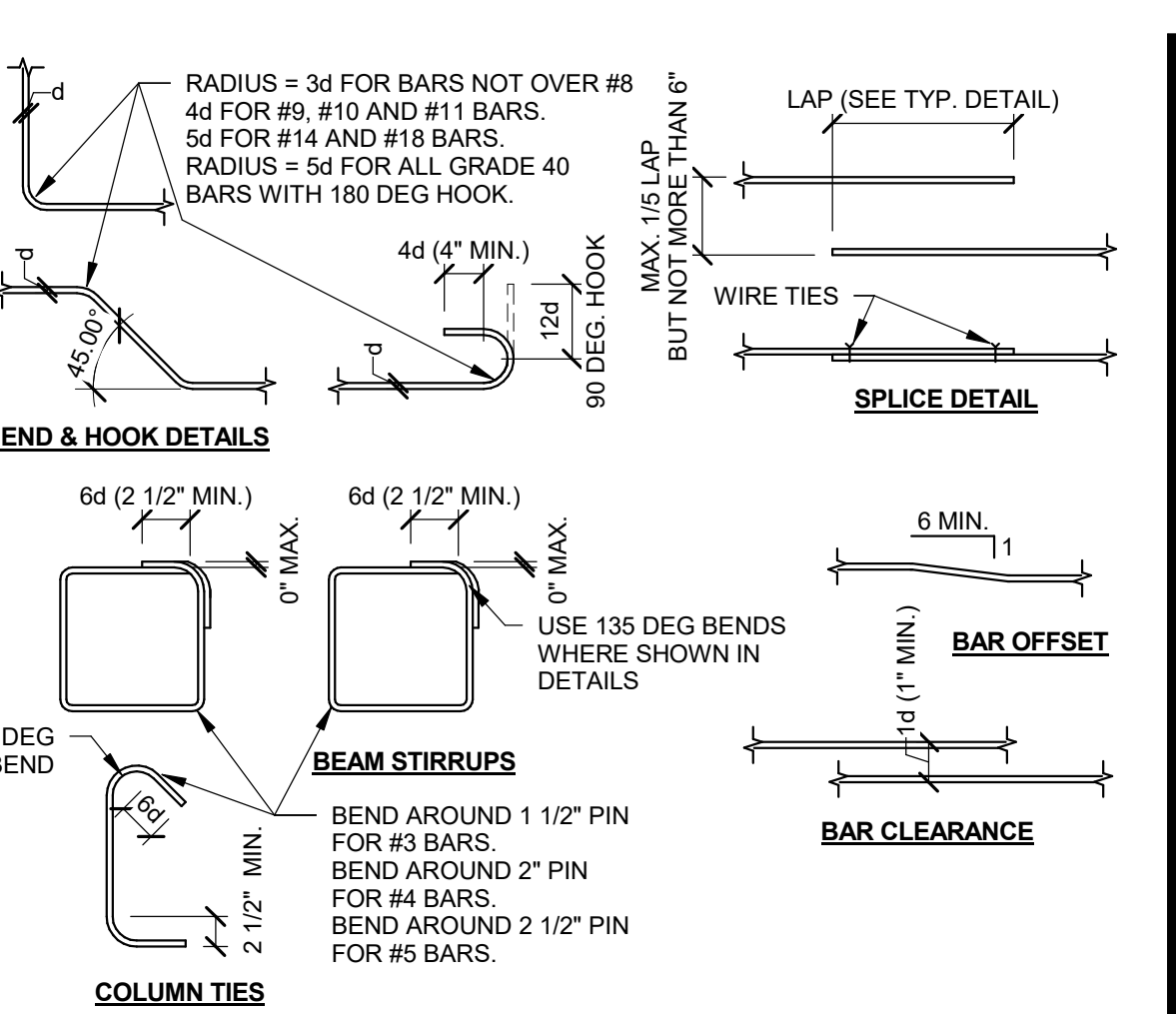
13 SPOT FOOTING w/ STEEL POST
SCALE: N.T.S.



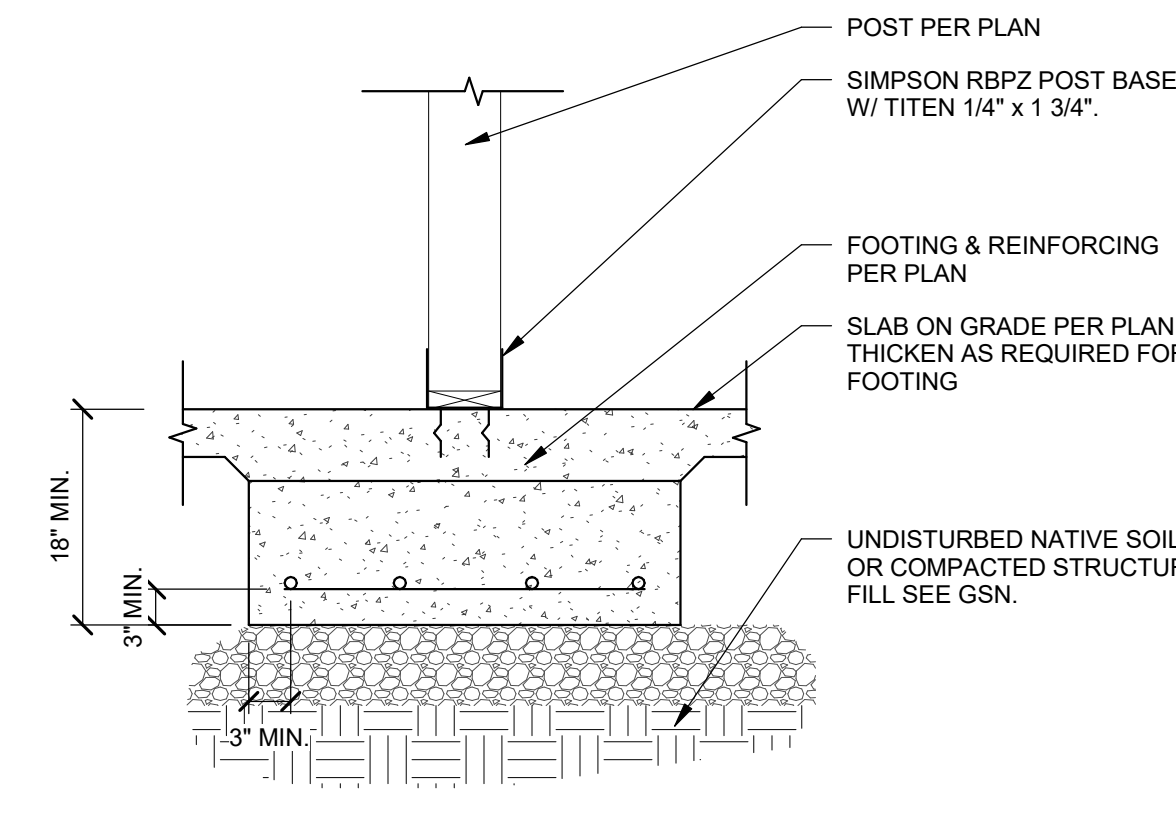
9 FDNT WALL @ STOREFRONT
SCALE: N.T.S.



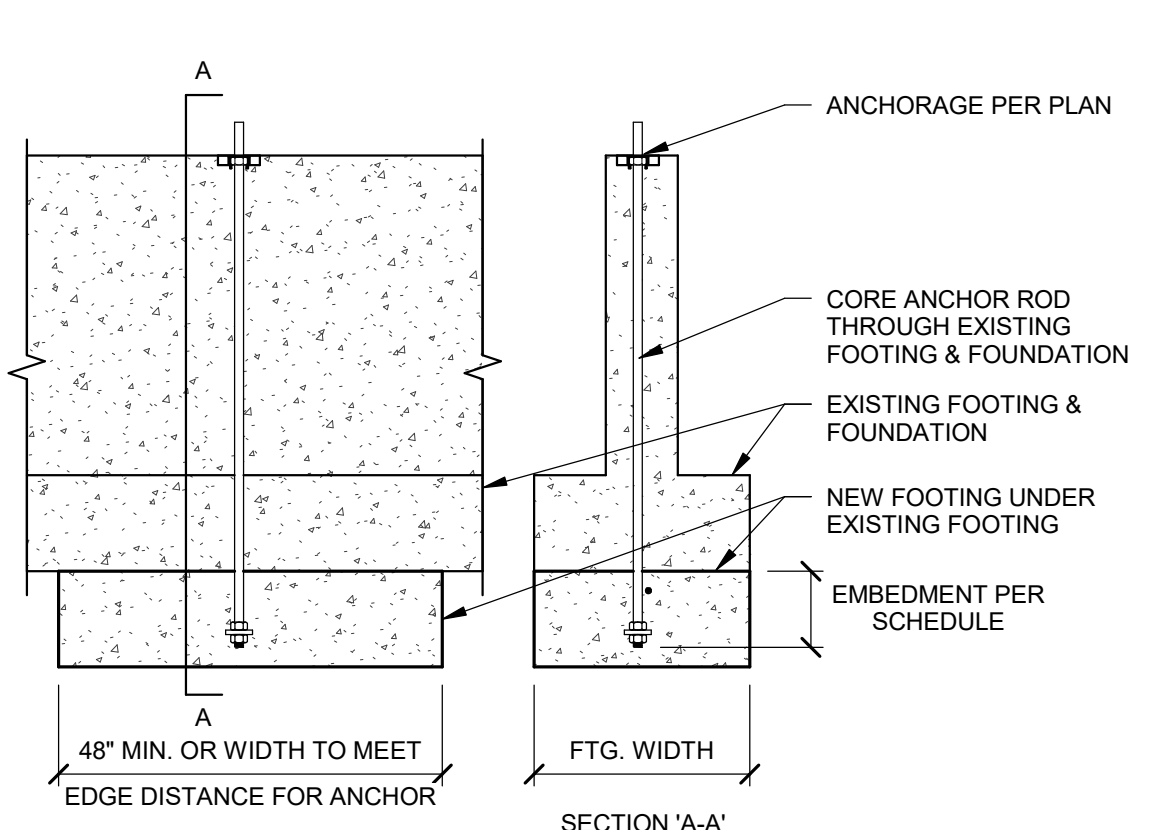
5 PIPE PENETRATION THRU FOUNDATION
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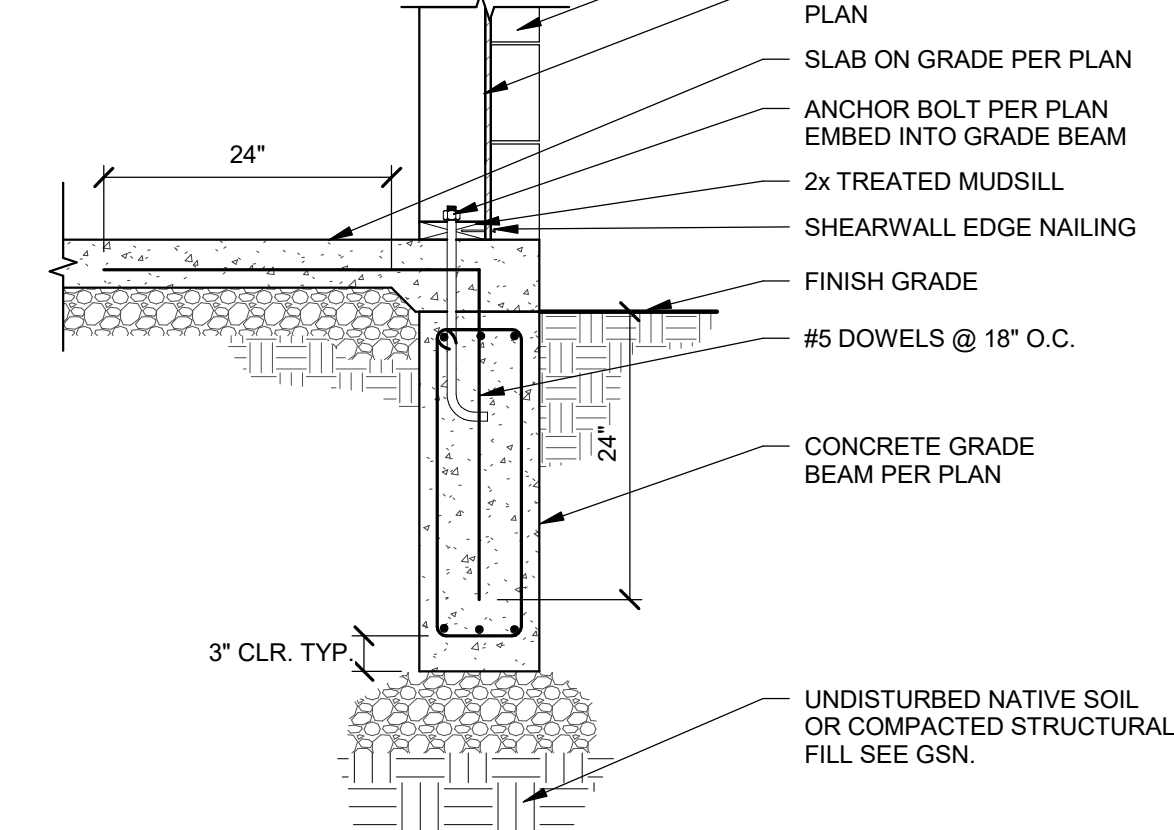
1 CONC. REINFORCING BAR DETAILS
SCALE: N.T.S.



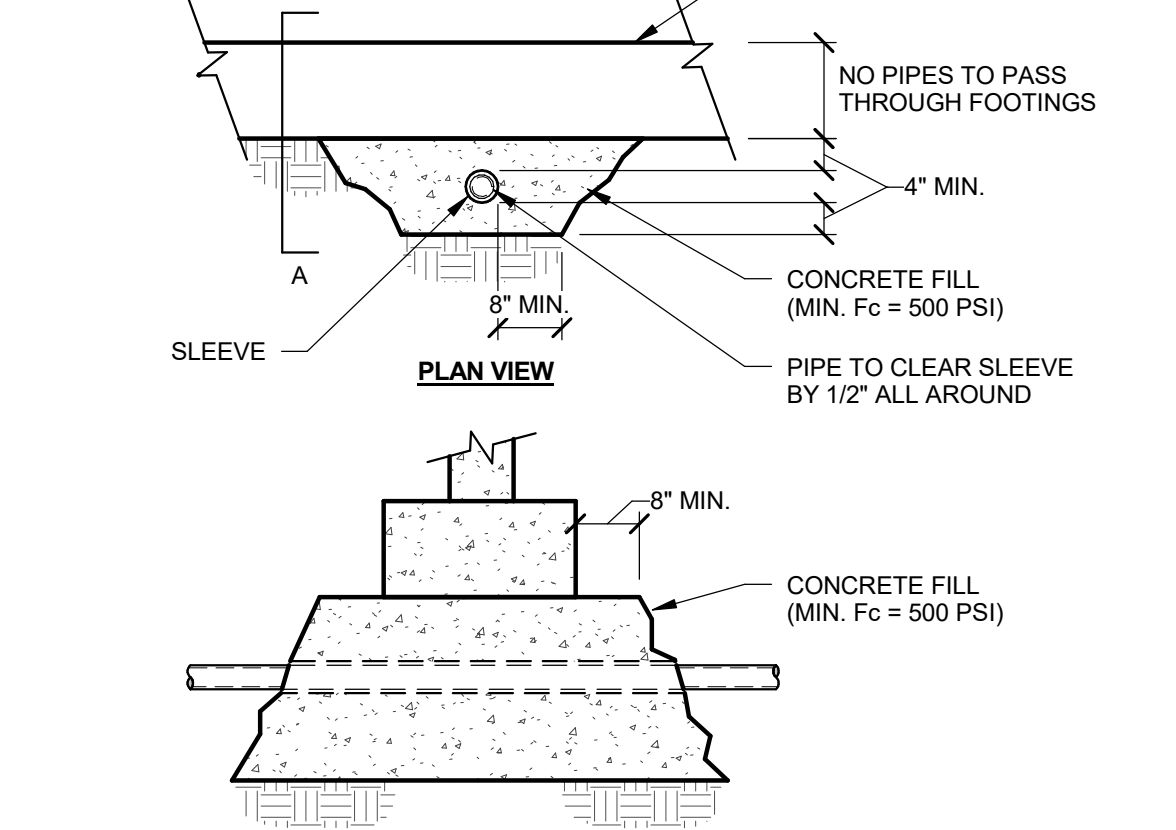
18 WOOD POST @ SPOT FOOTING
SCALE: N.T.S.



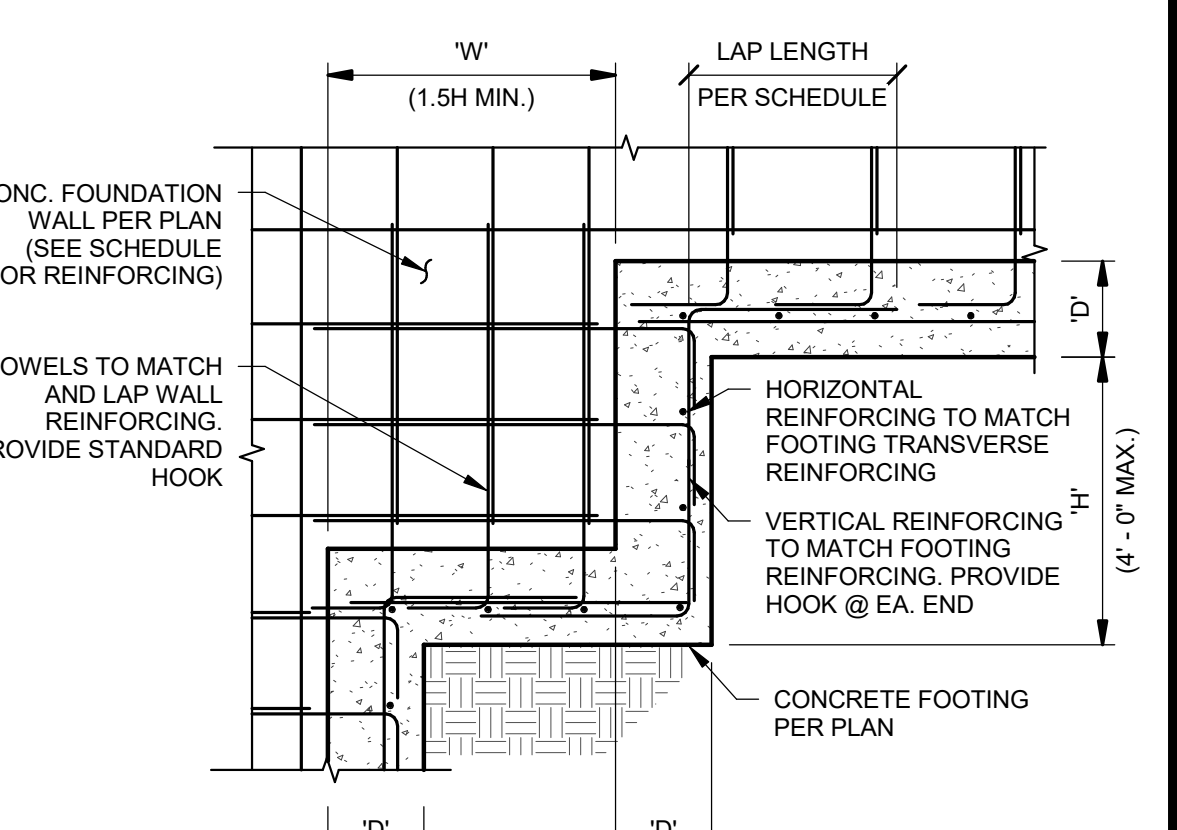
14 ANCHOR BOLT RETROFIT
SCALE: N.T.S.



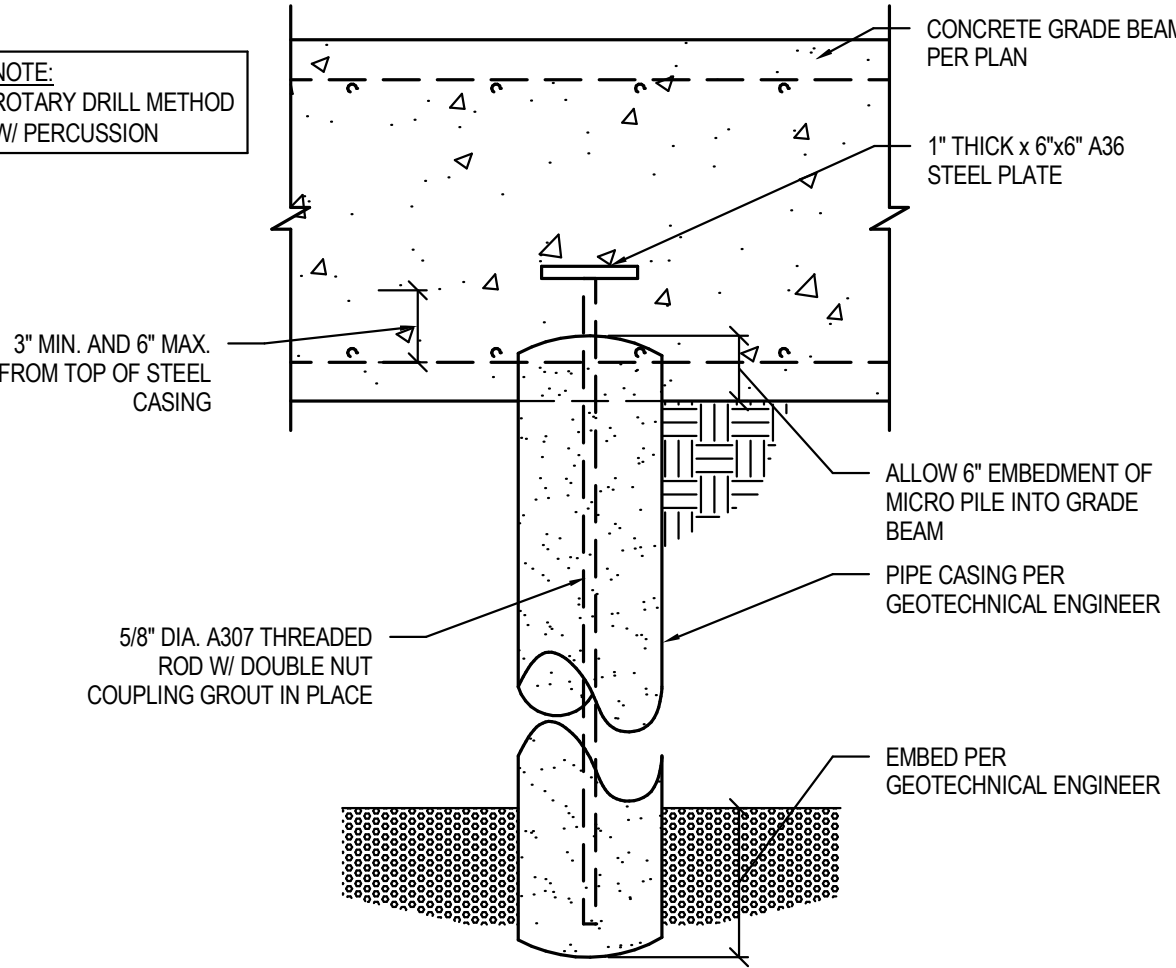
10 FOOTING & FOUNDATION WALL
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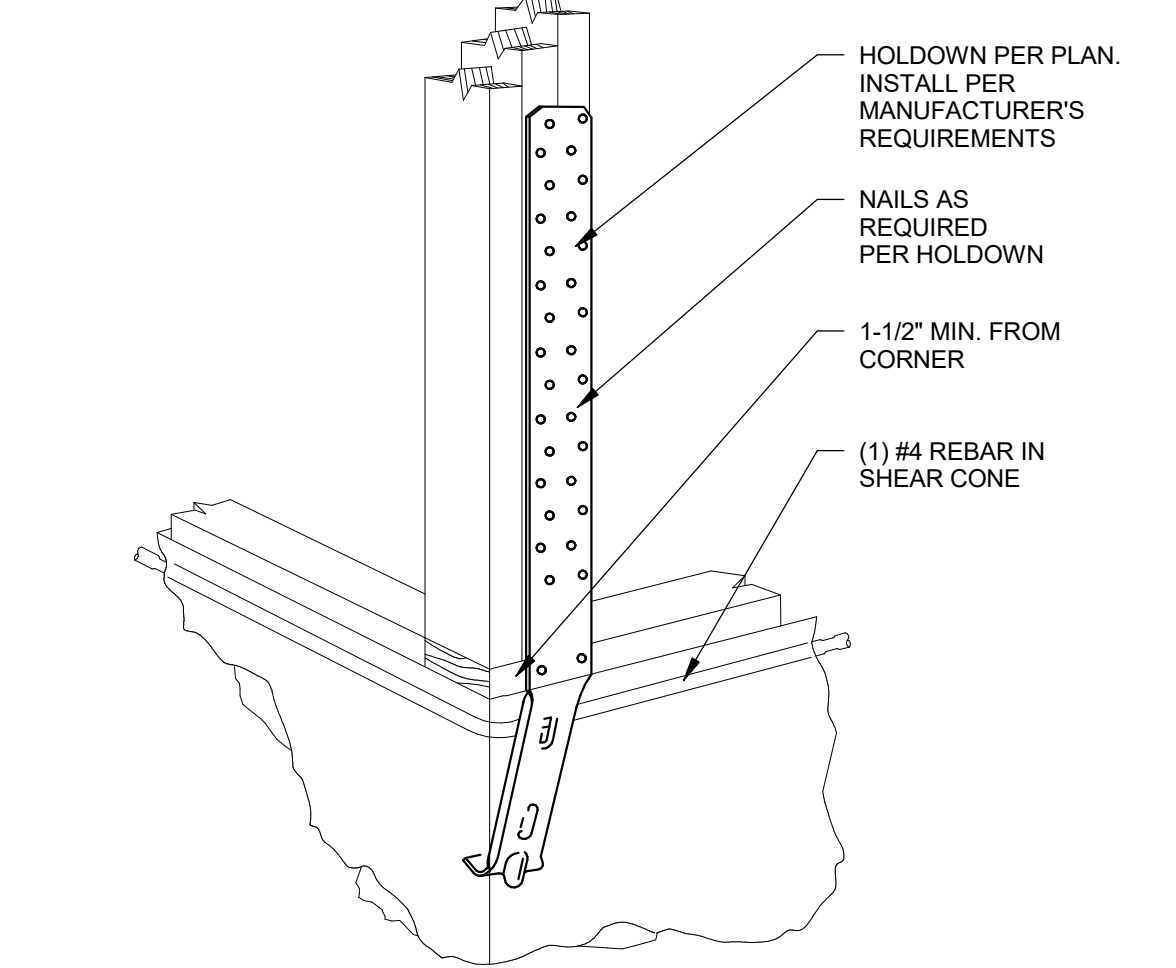
6 PIPE PASSING BELOW FOOTING
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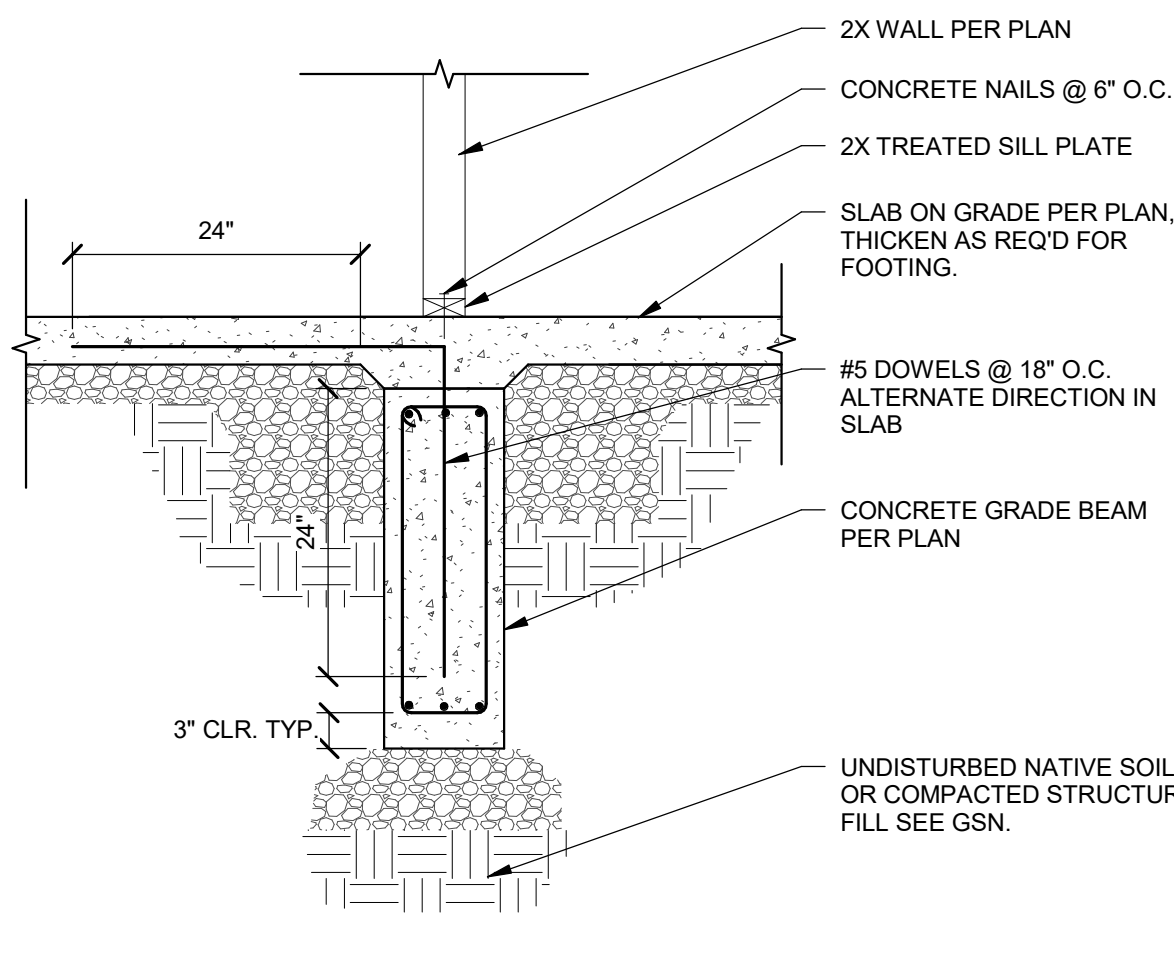
2 CONCRETE STEPPED FOOTING
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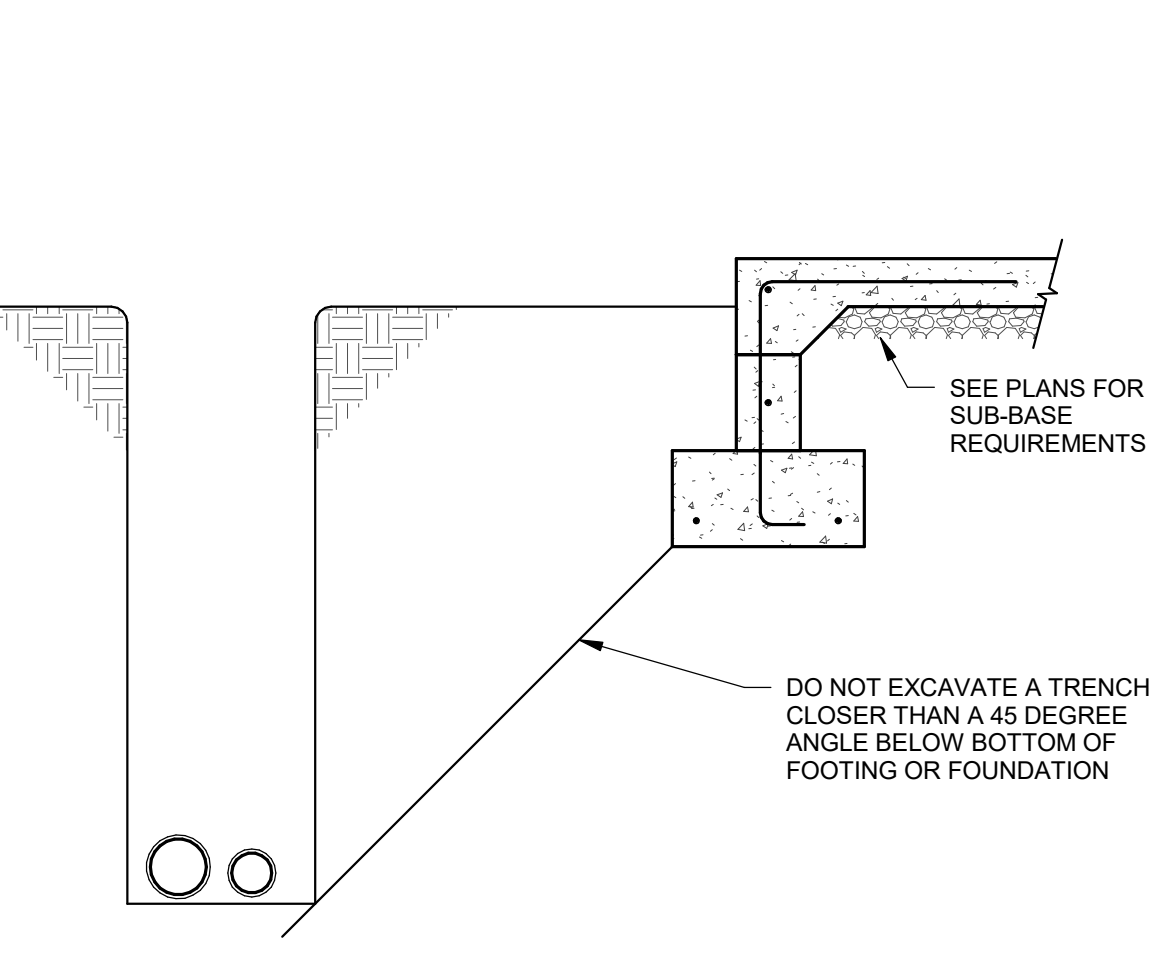
19 CONCRETE DETAIL
SCALE: N.T.S.



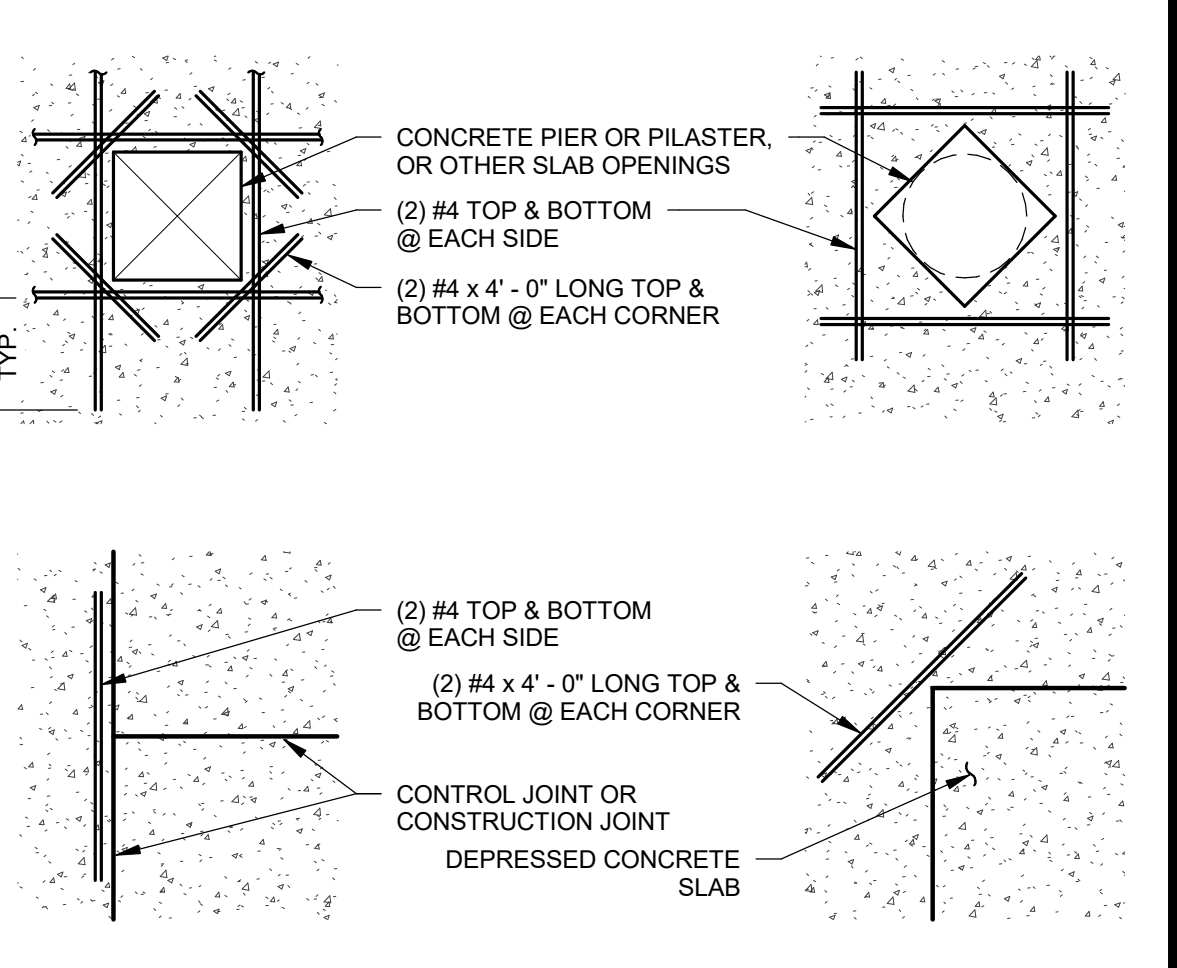
15 STHD HOLD DOWN INSTALLATION
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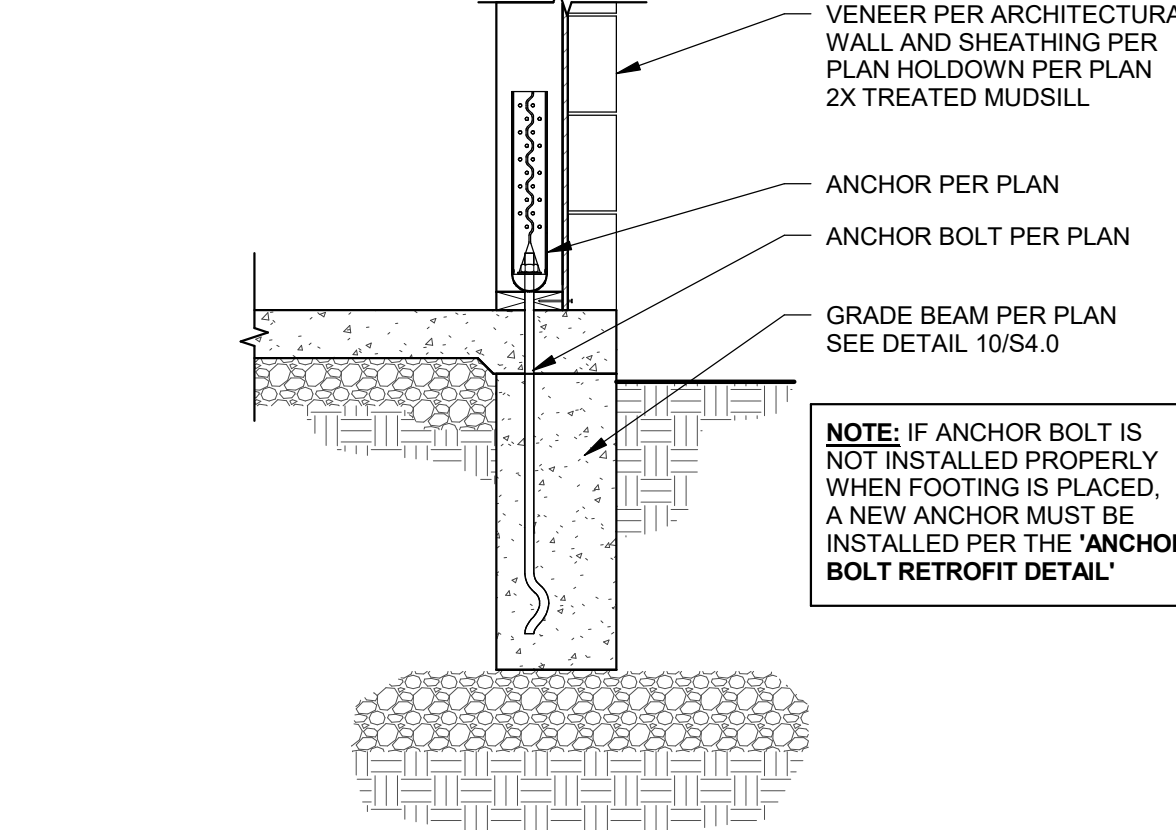
11 INTER. BEARING WALL @ SLAB FOOTING
SCALE: N.T.S.



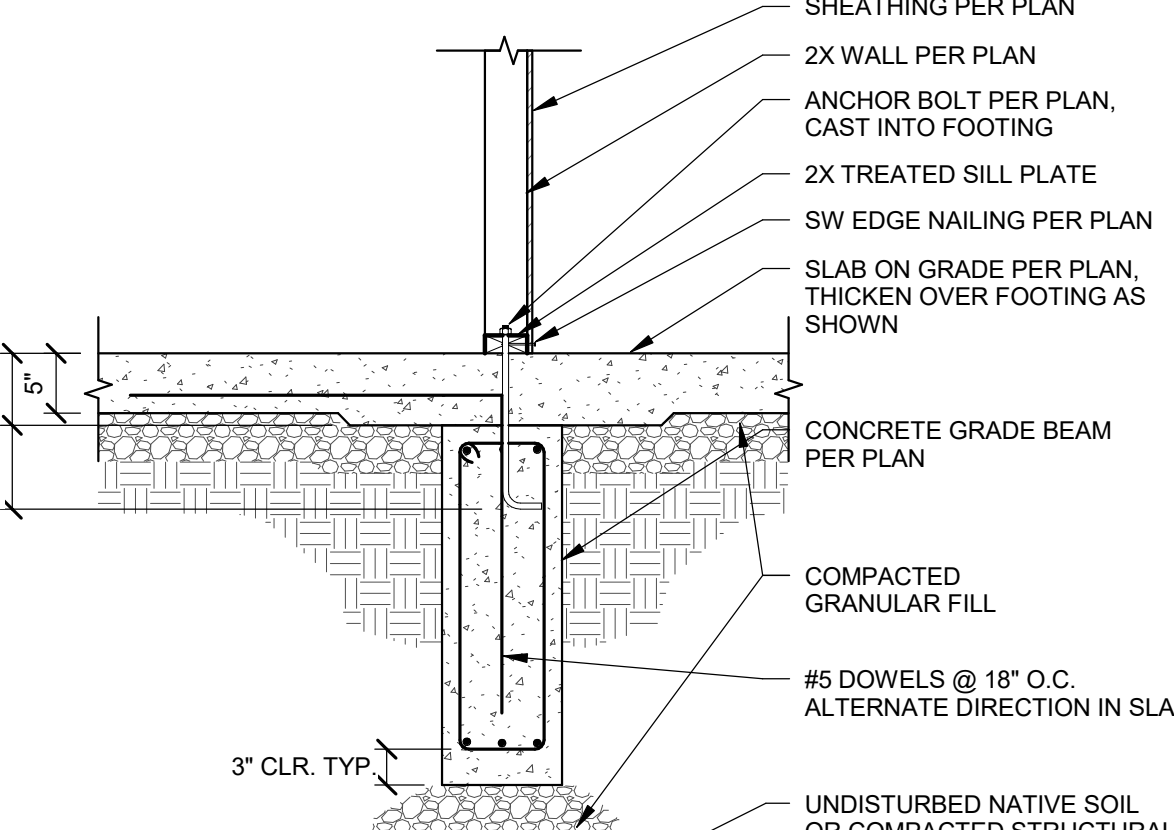
7 TRENCH PARALLEL TO FOUNDATION
SCALE: N.T.S.



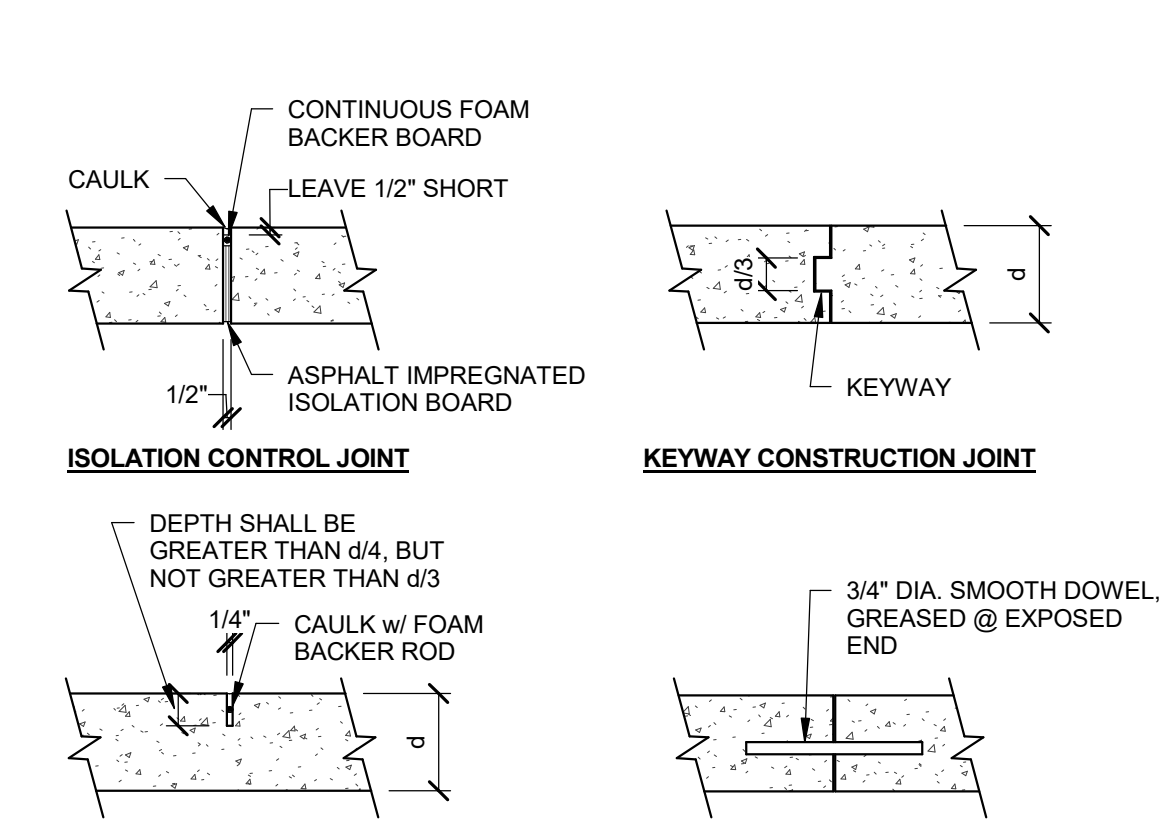
3 ADDITIONAL REINF. @ SLAB OPENINGS
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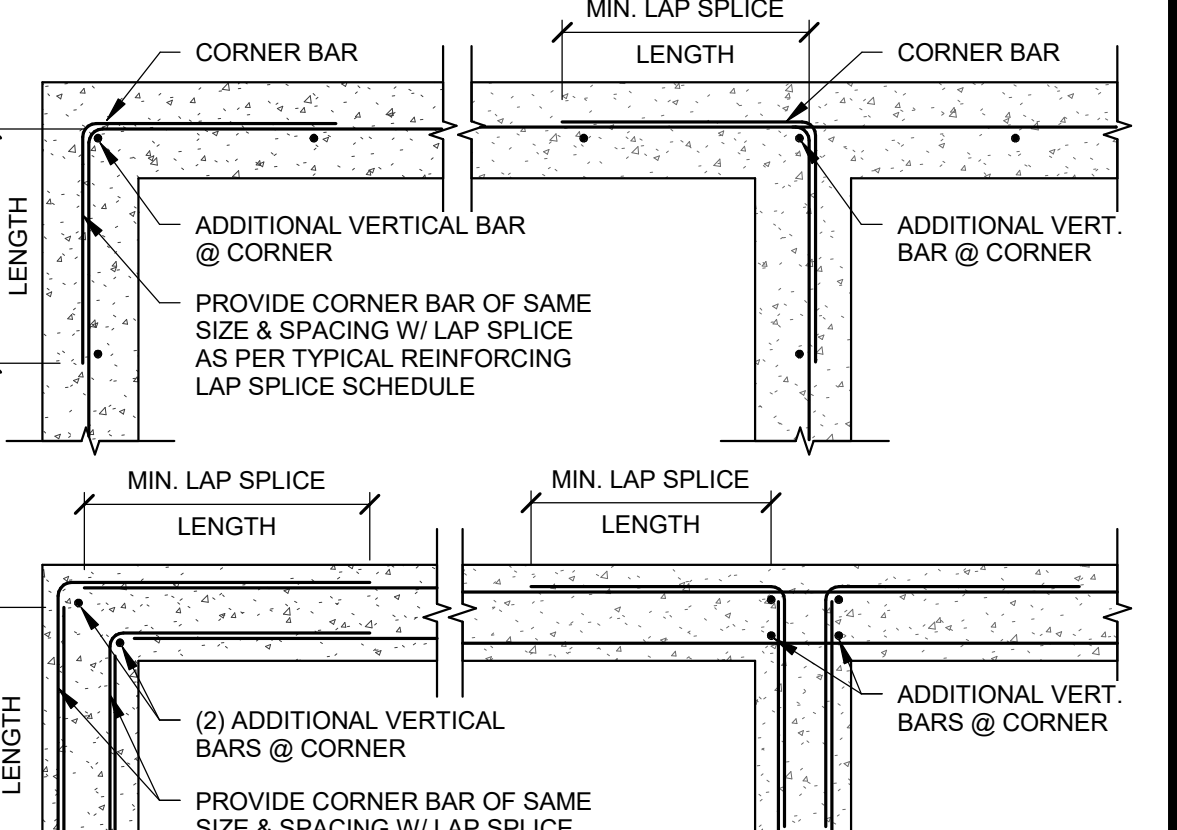
16 ANCHORAGE @ FOOTING
SCALE: N.T.S.




12 INTERIOR CONTINUOUS FOOTING
SCALE: N.T.S.



8 SLAB JOINT TYPICAL DETAILS
SCALE: N.T.S.



4 FDTN INTERSECTION REINFORCEMENT
SCALE: N.T.S.



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CLIENT INFORMATION:
Owner

TENDER CARE HOSPICE

ASSISTED LIVING FACILITY

5TH NORTH AND 1ST EAST STREET

PRICE CITY, UTAH



PERMIT 03/08/16

NO. DATE REVISION

FOOTING & FOUNDATION DETAILS

PROJECT NUMBER
6803

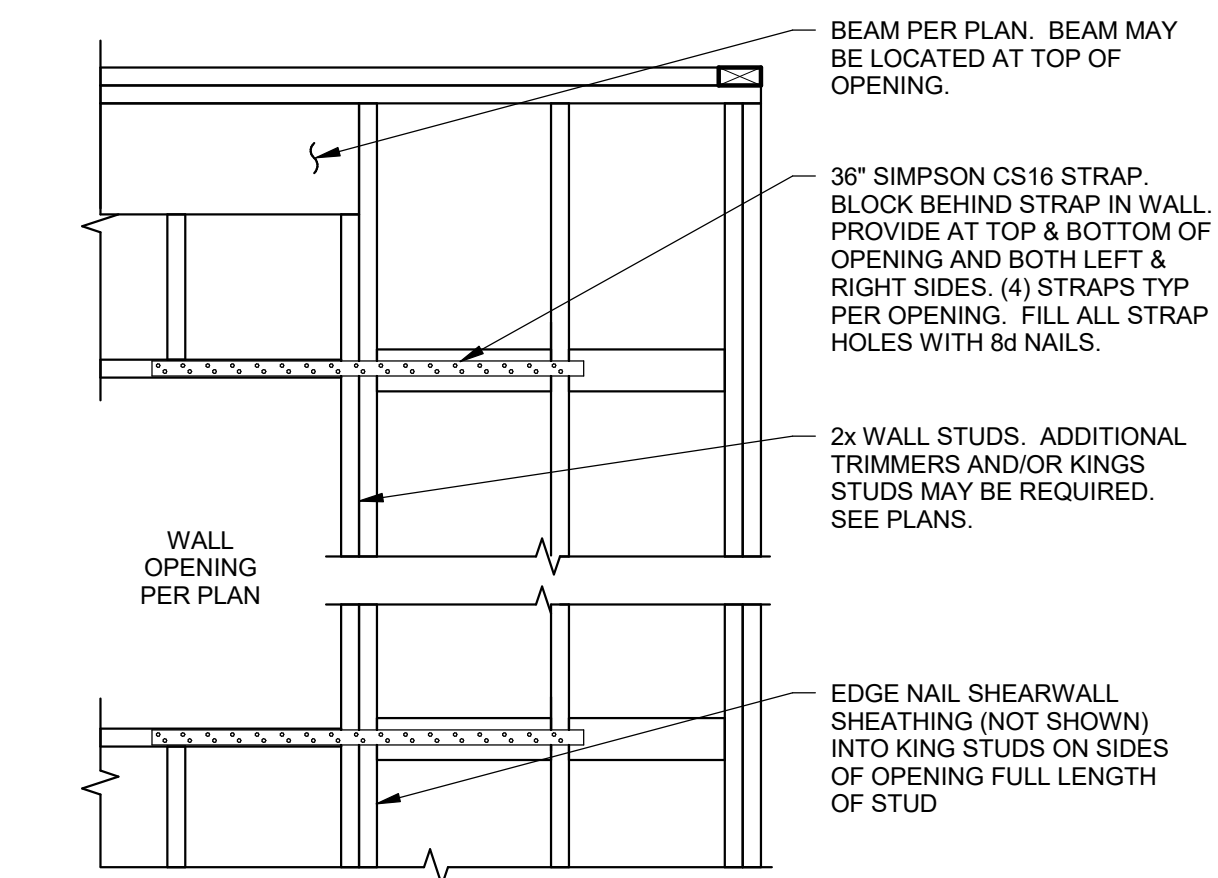
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12-31-15

DRAWN BY
R. MALIGON

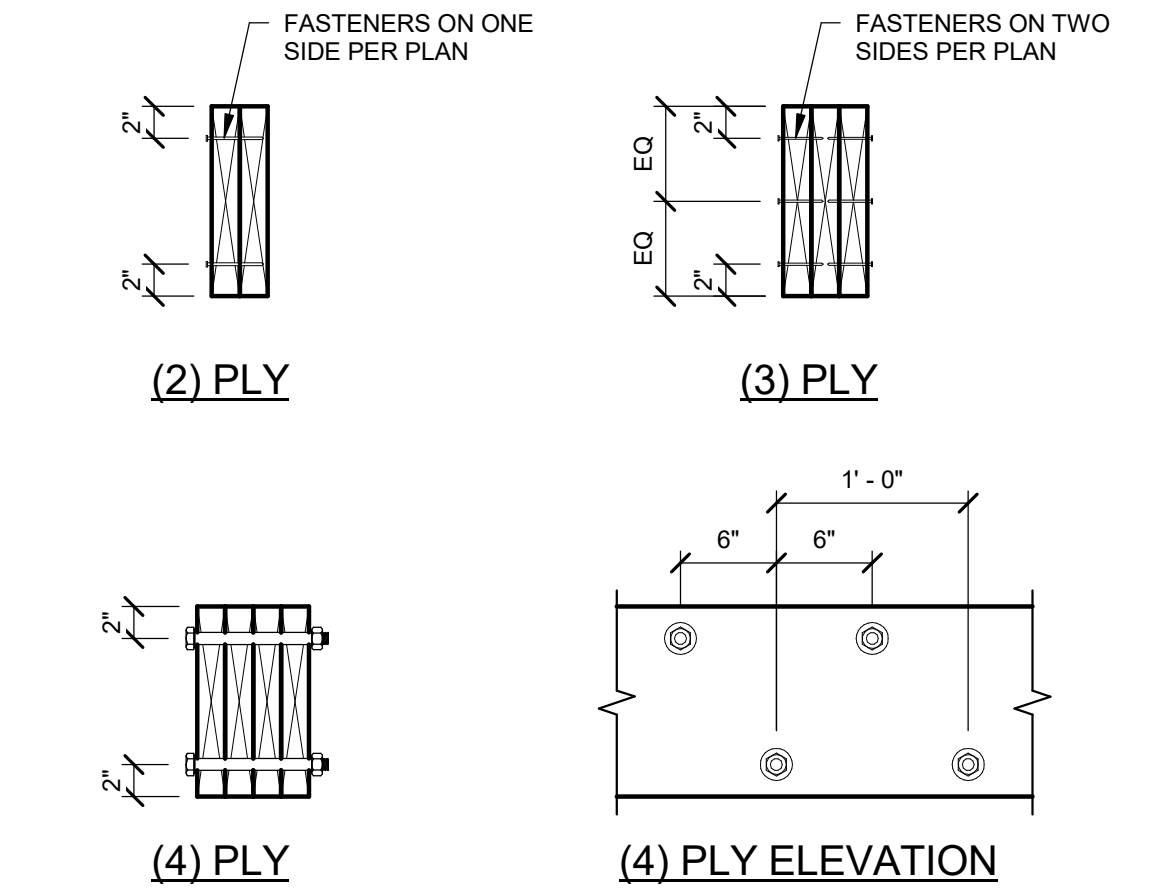
PROJECT ENGINEER
A. HAWKINS

PROJECT MANAGER
C. DUNCAN

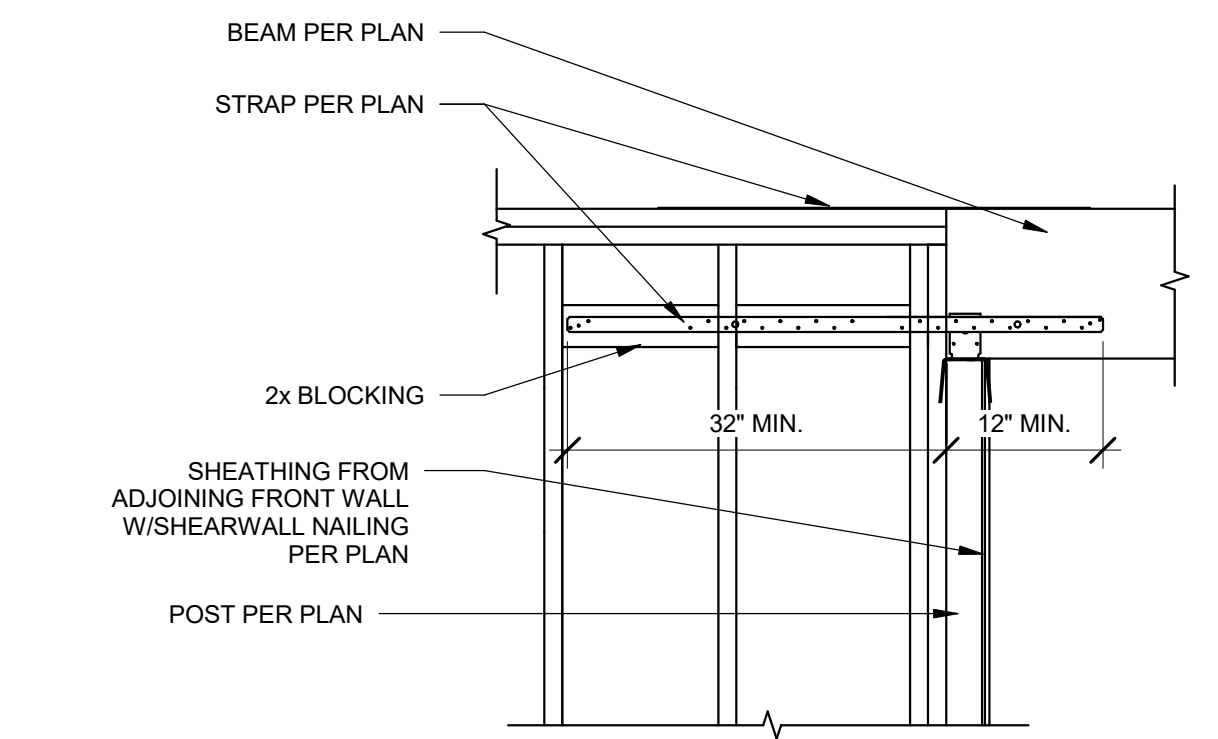
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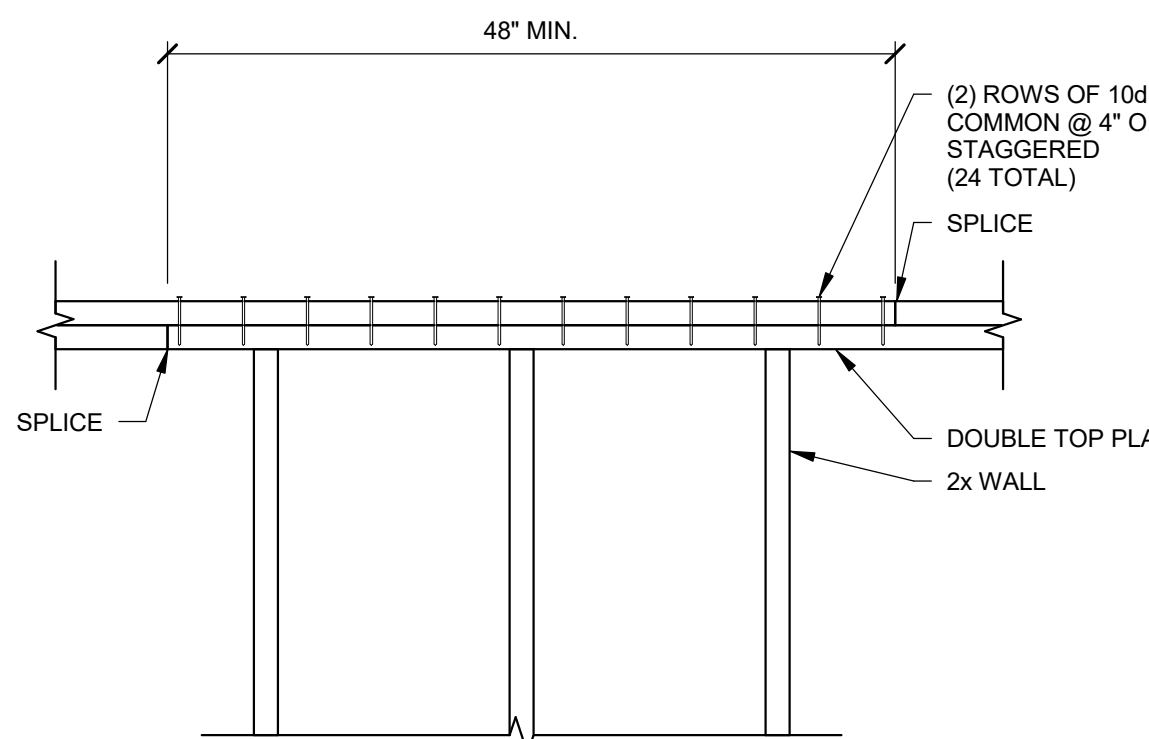
5 WINDOW STRAP DETAIL
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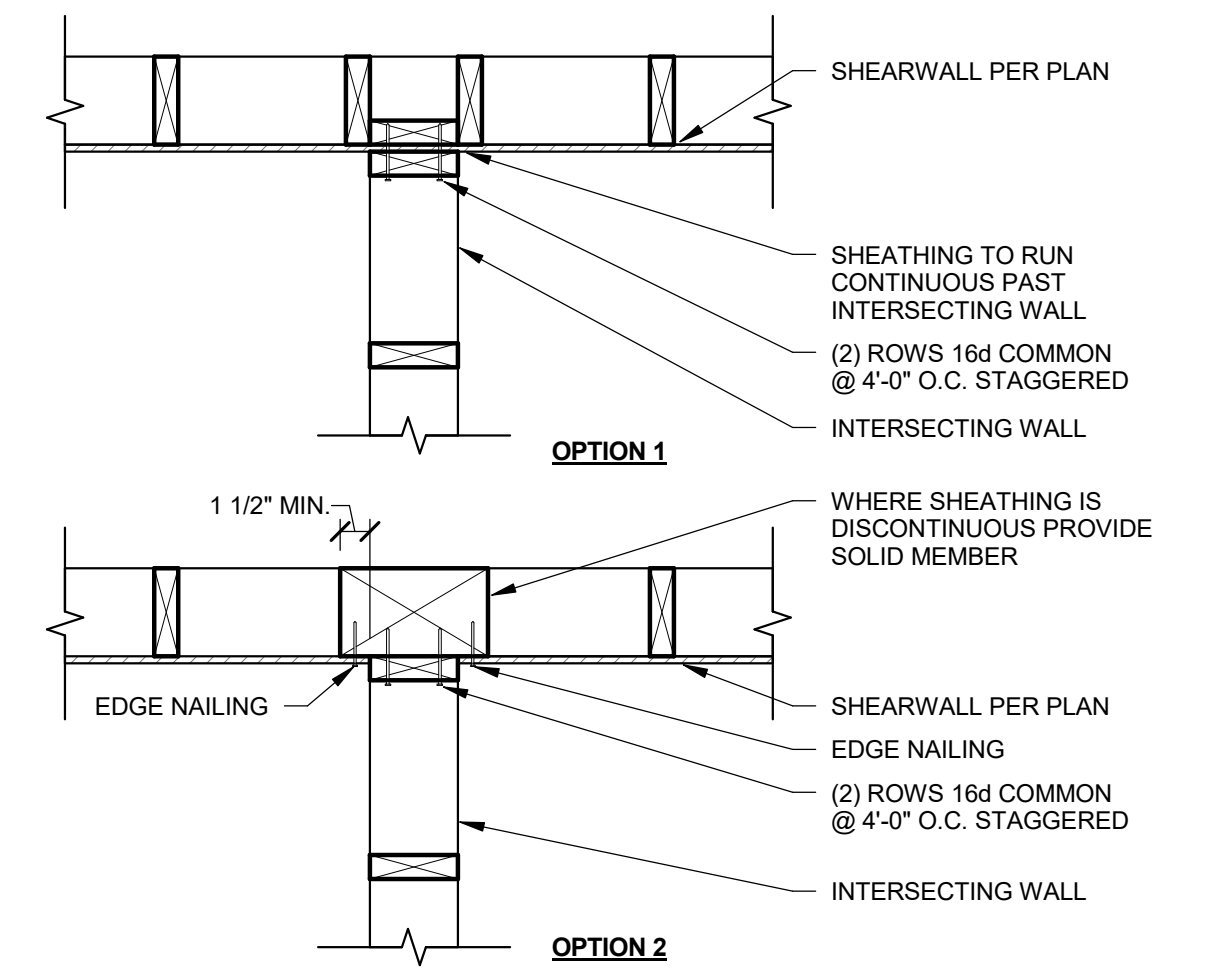
1 BUILT-UP BEAM FASTENERS
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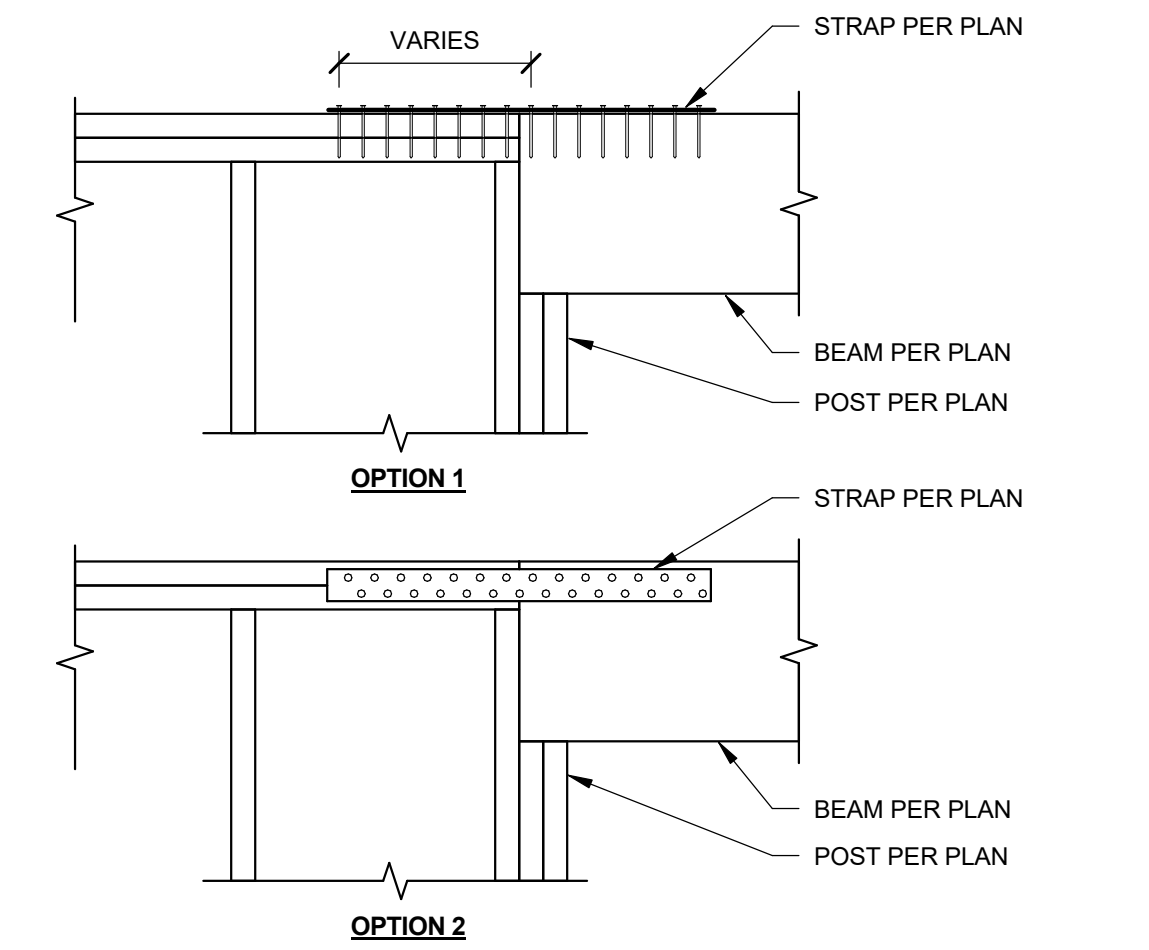
6 HEADER/COLLECTOR STRAPING
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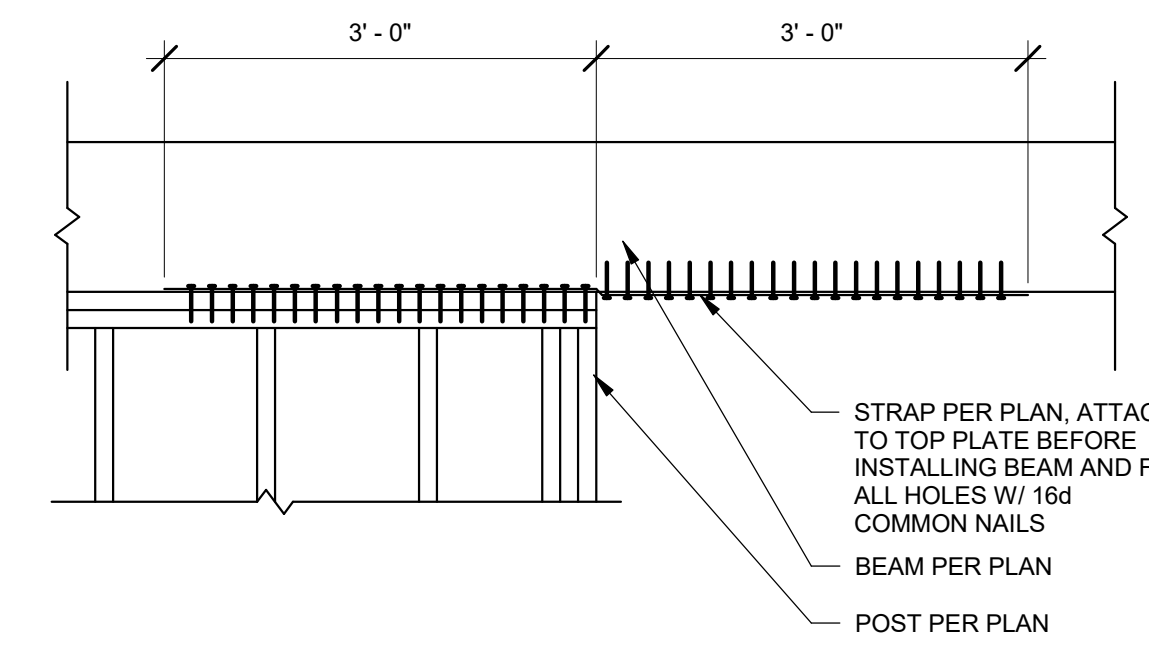
2 DBL. TOP CHORD SPLICE DTL.
SCALE: N.T.S.



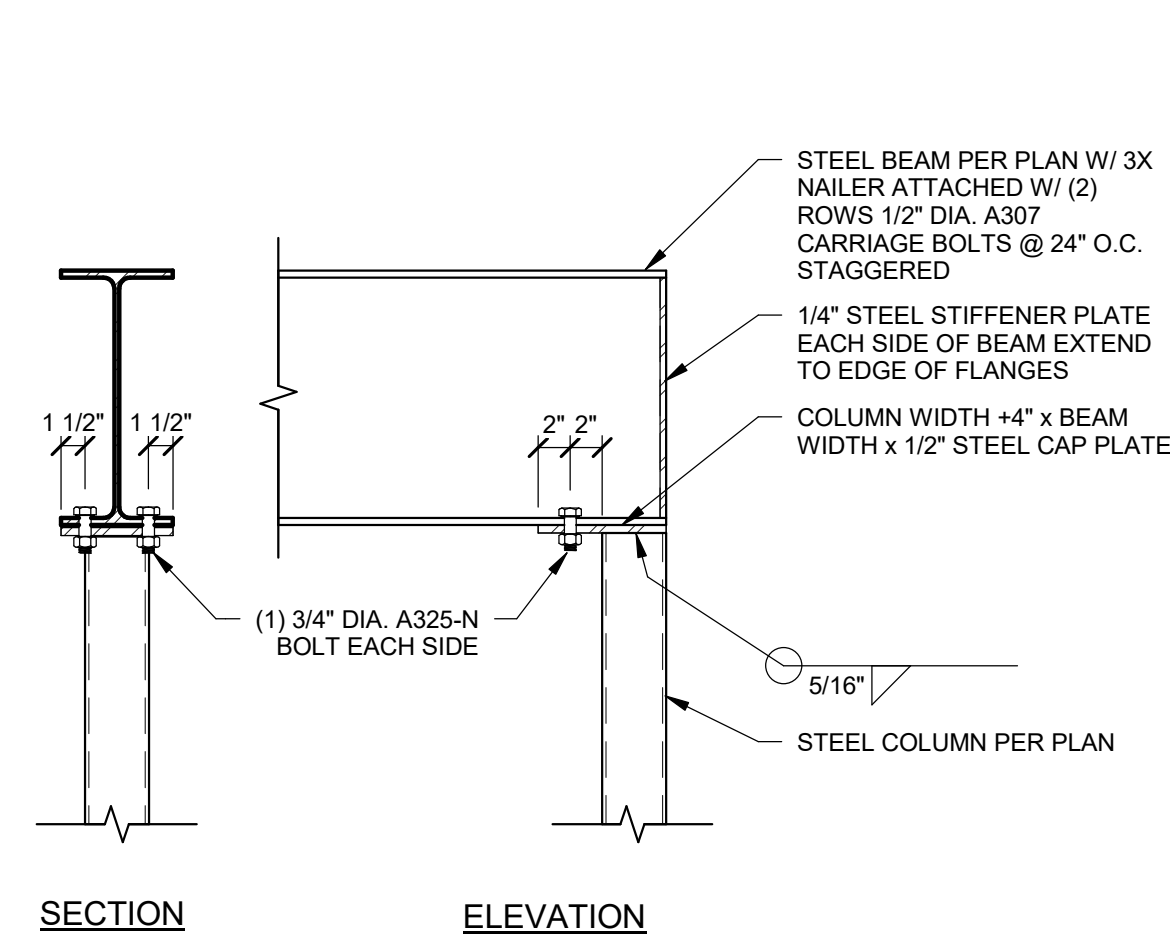
7 SHEARWALL w/ INTERSECTING WALL
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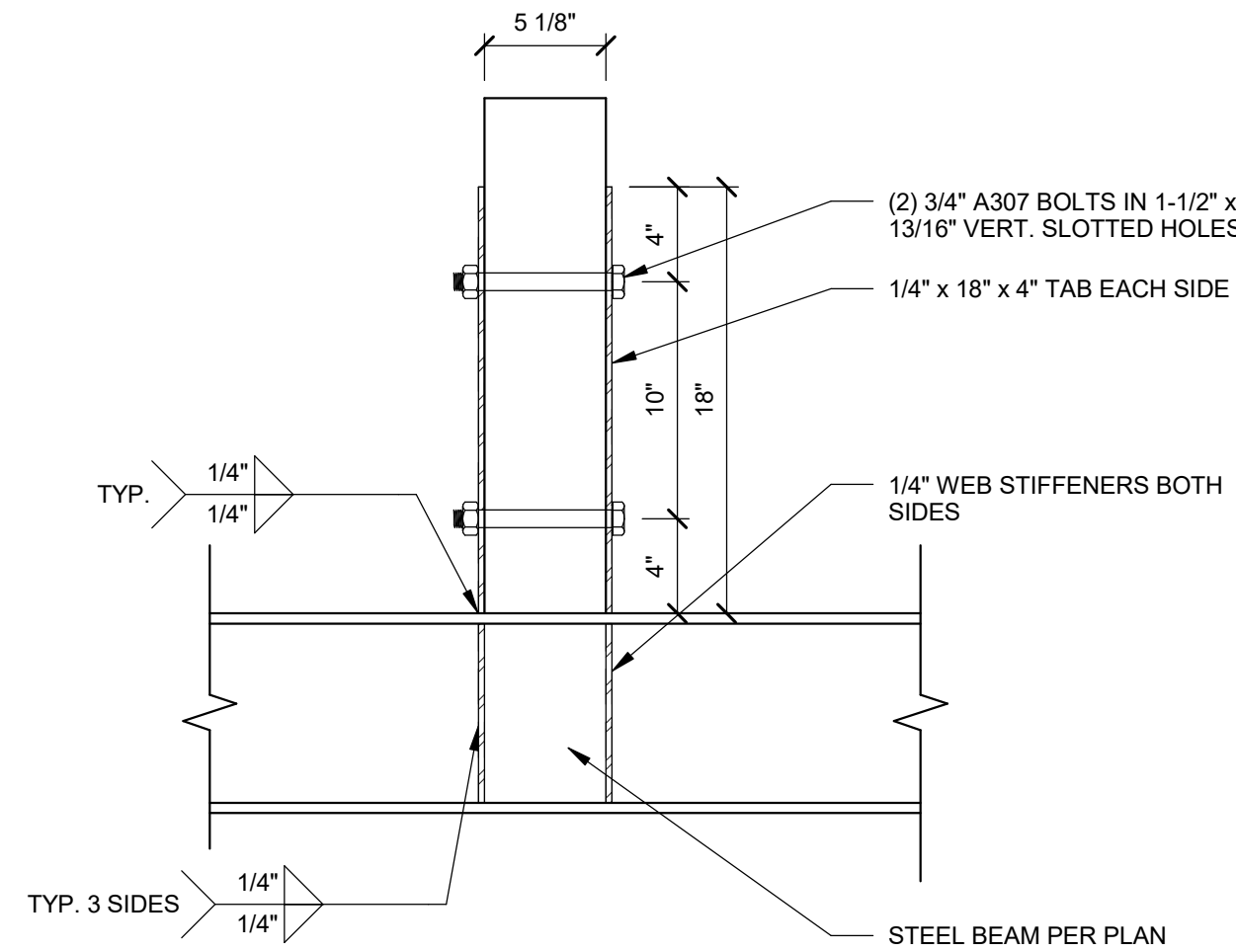
3 BEAM STRAPPING
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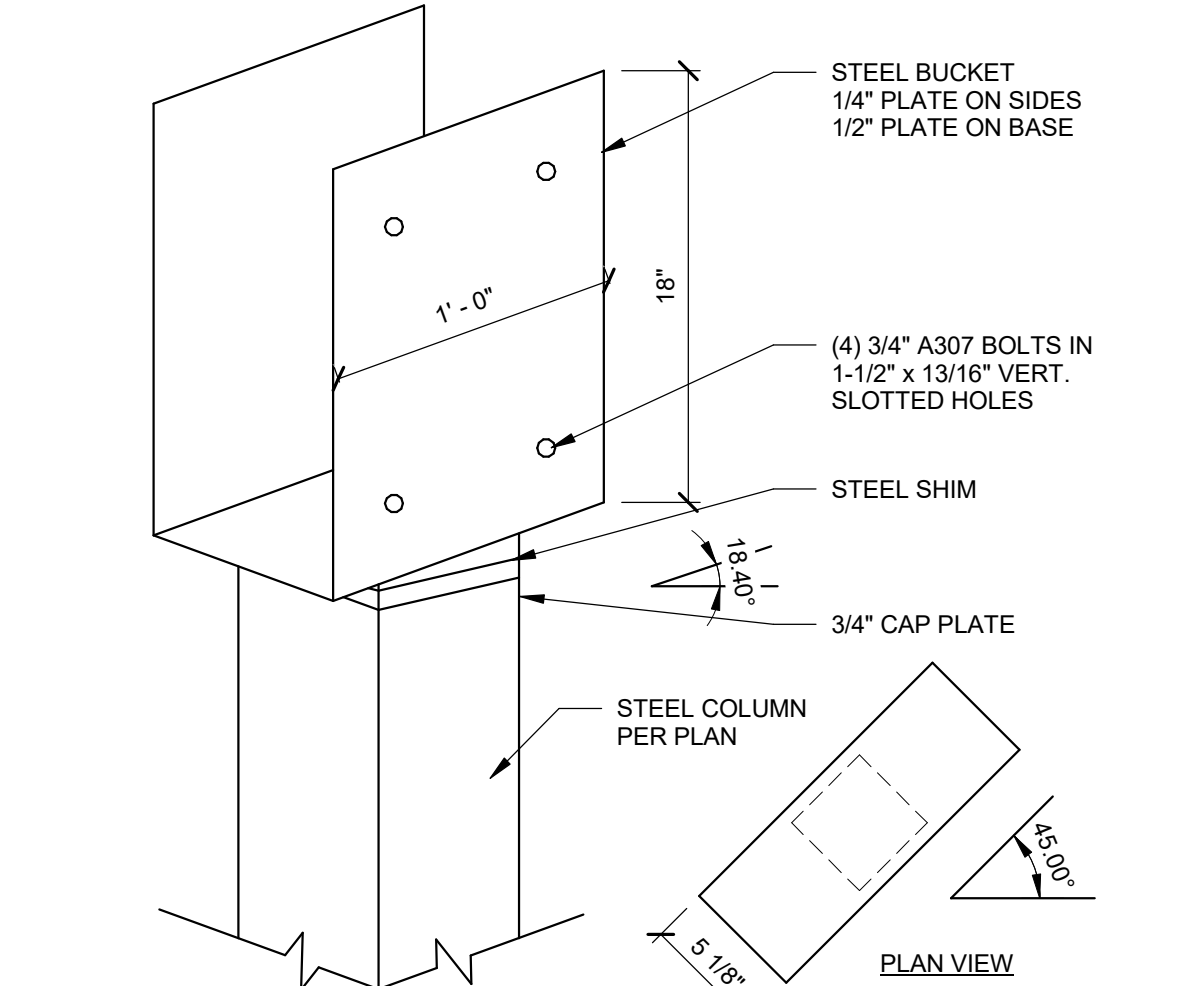
4 DRAG STRUCT CONNECTION
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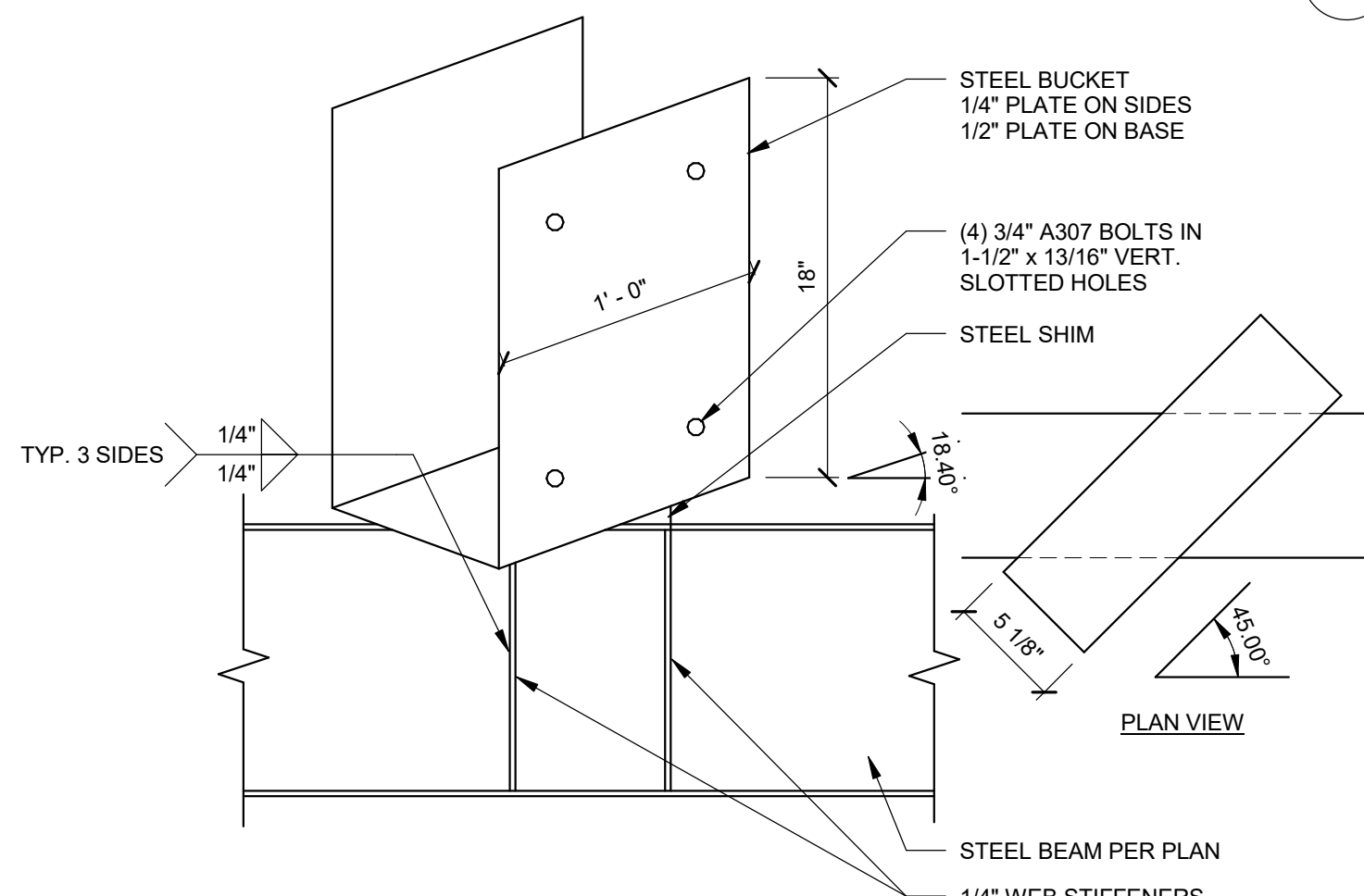
13 STEEL BEAM END @ STEEL COLUMN
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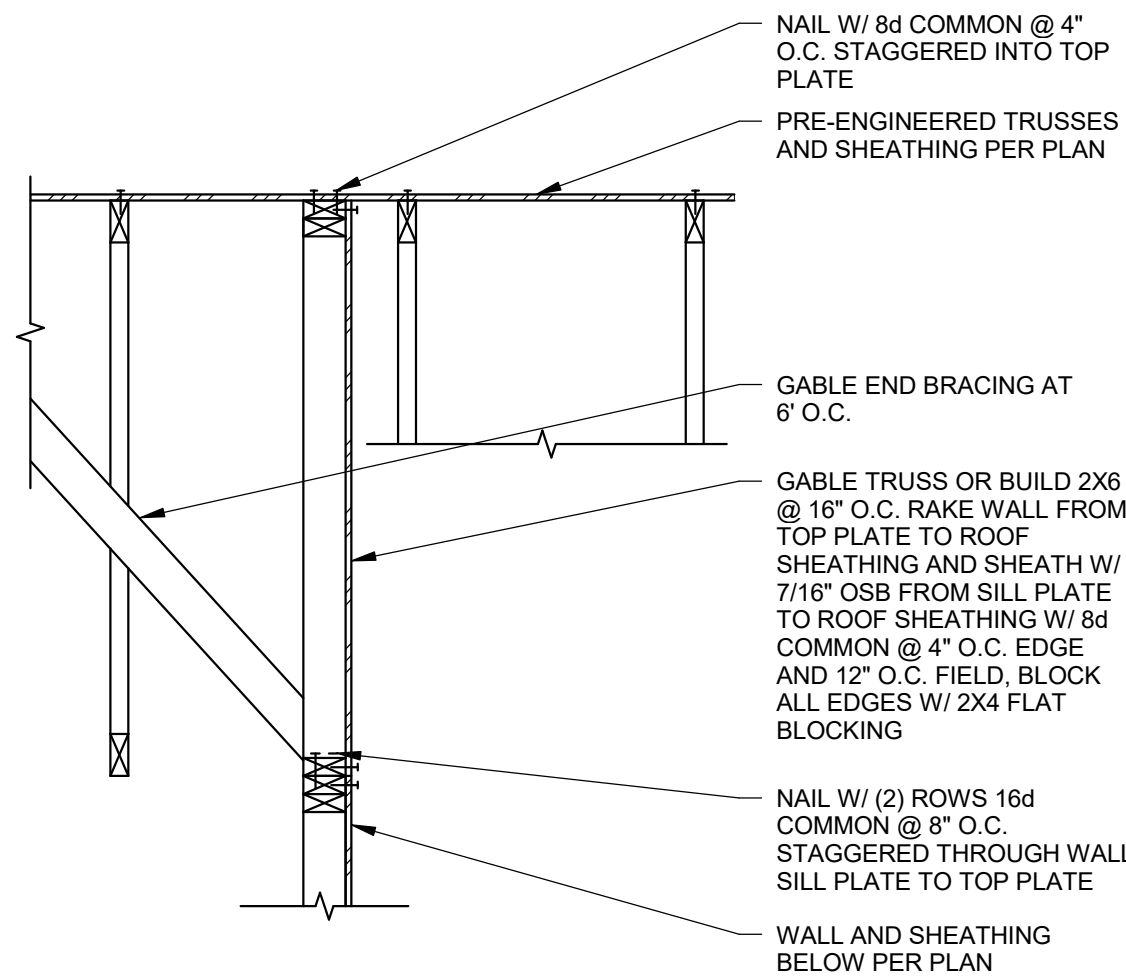
14 BUCKET @ BEAM
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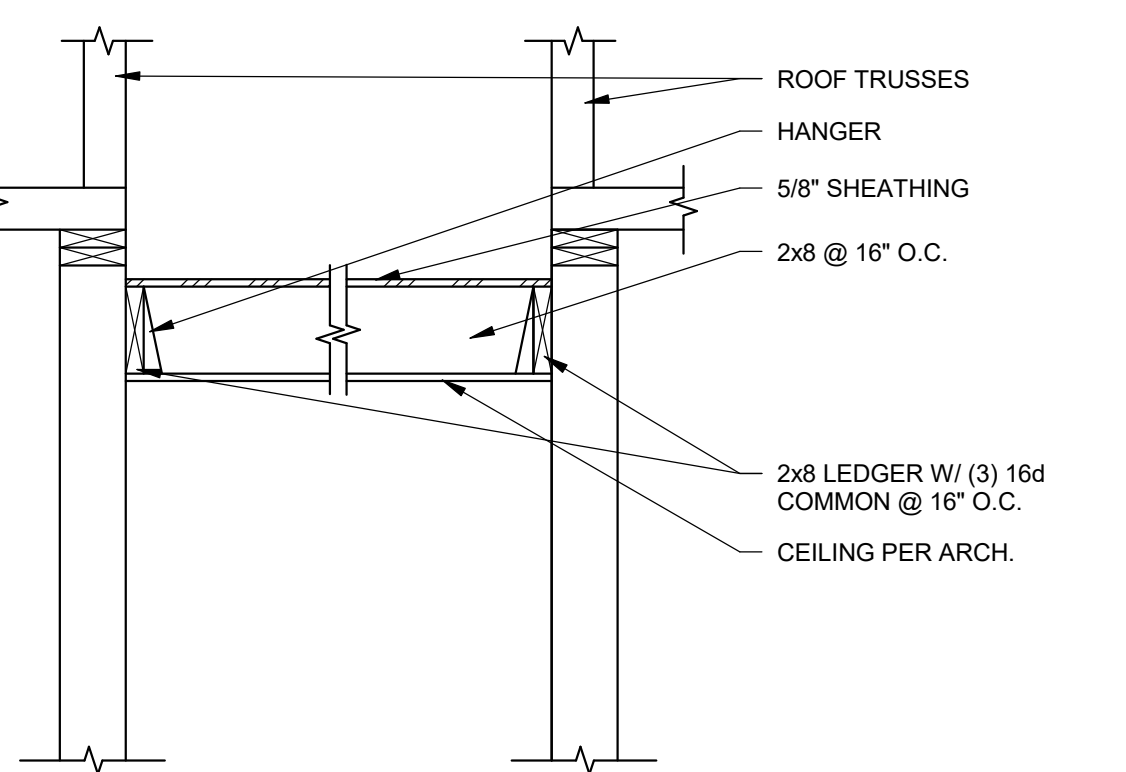
15 HIP BUCKET @ COLUMN
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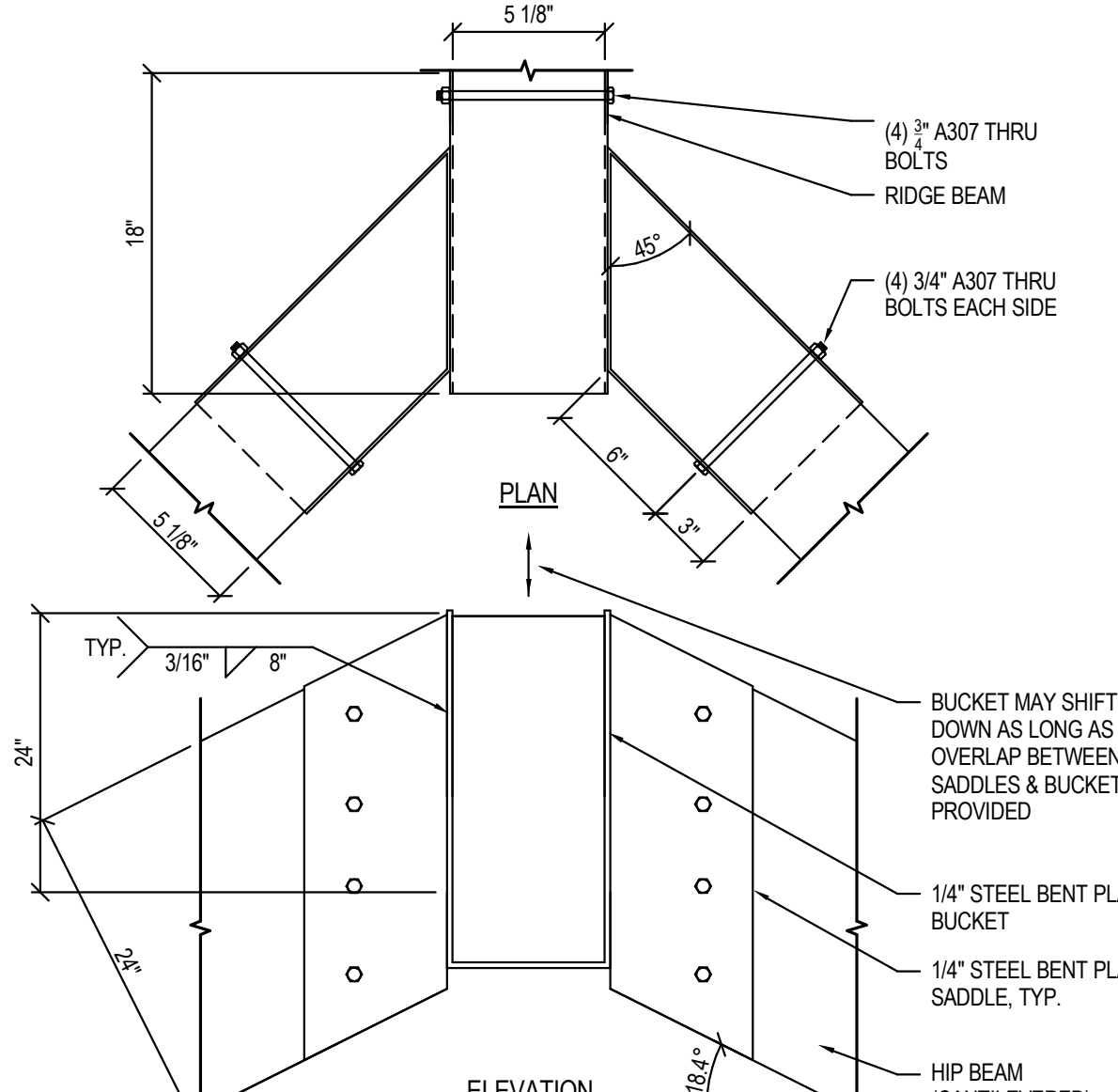
16 HIP BUCKET @ BEAM
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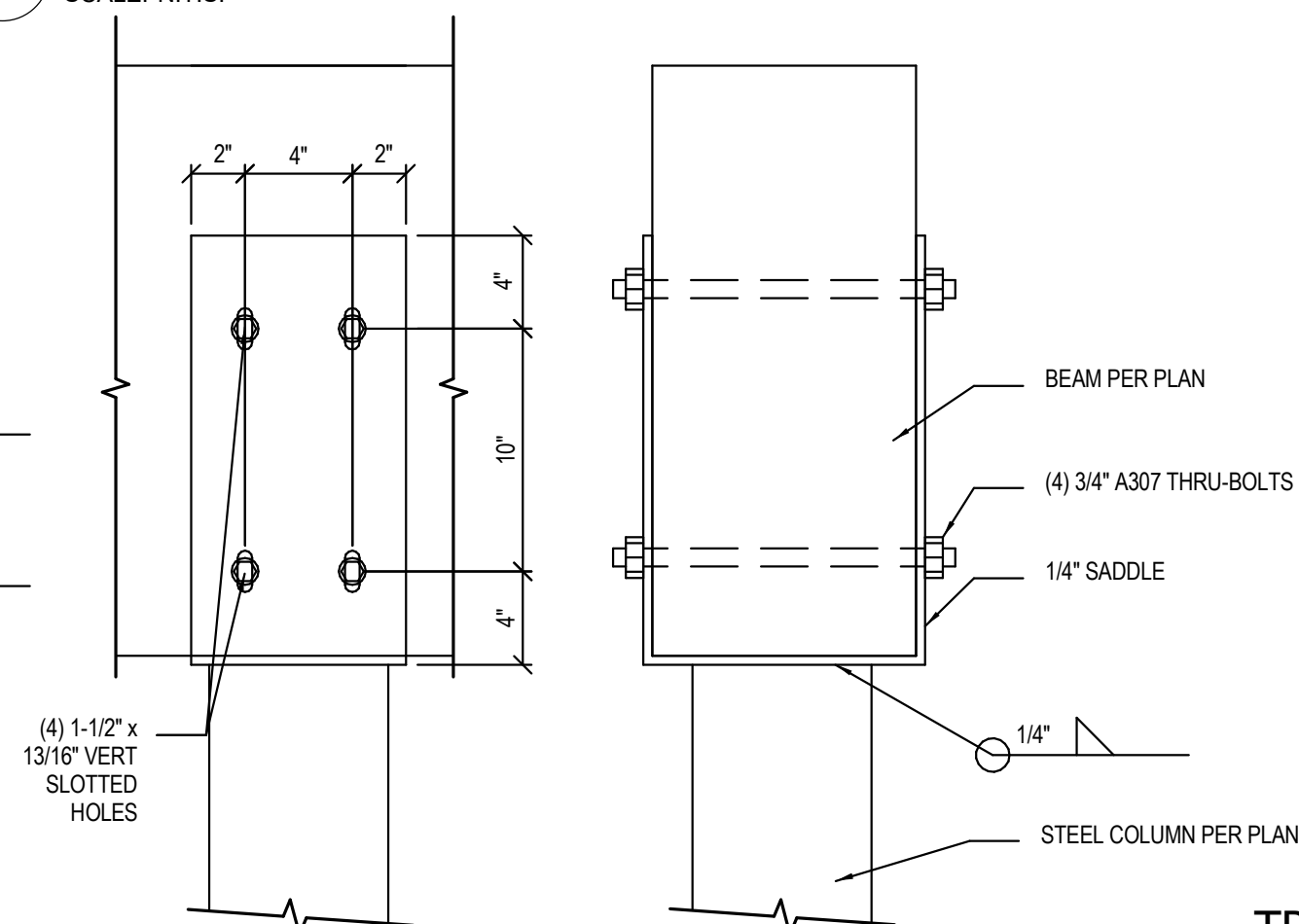
9 RAKE WALL @ NON-BEARING SHEARWALL
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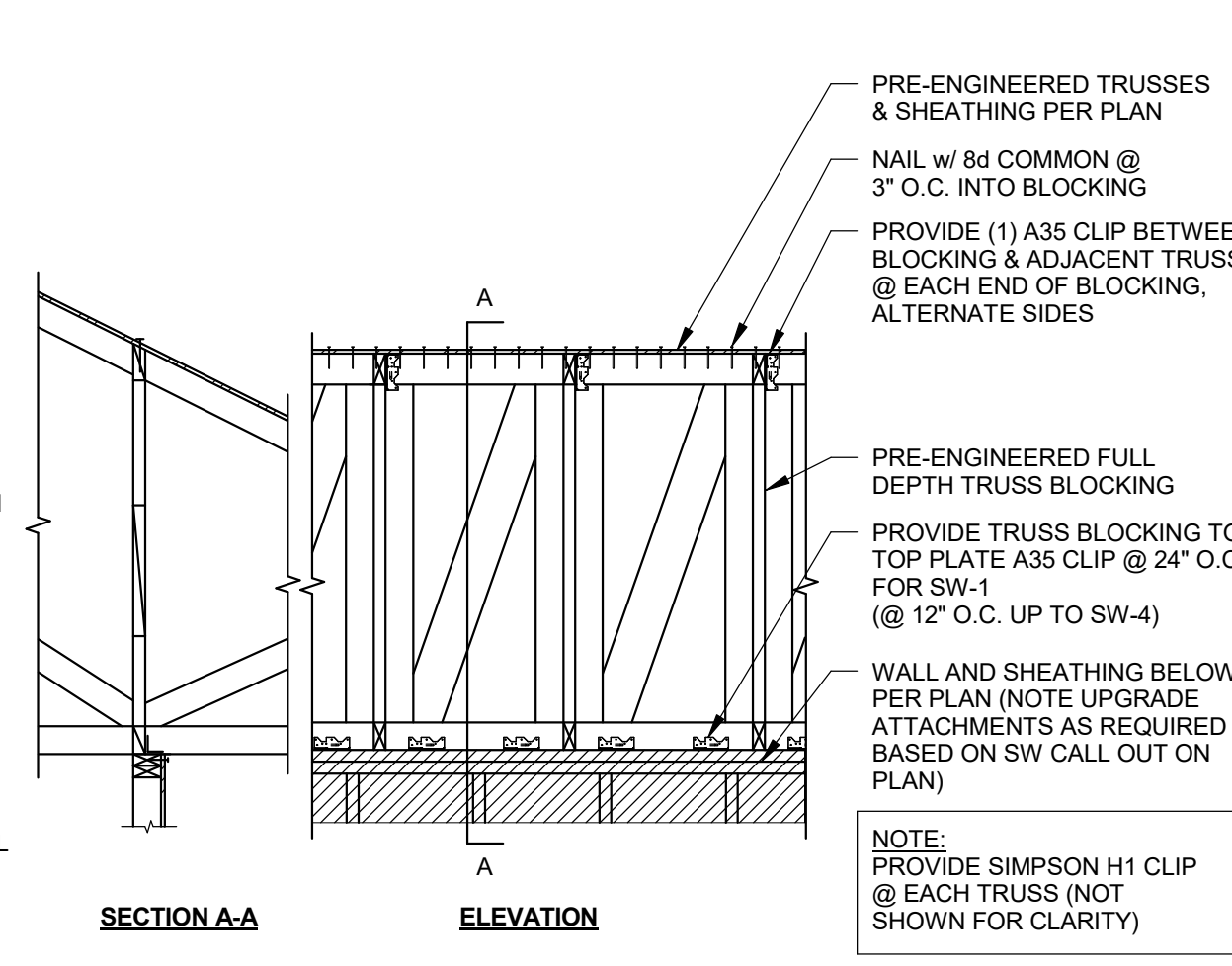
10 CORRIDOR FRAMING
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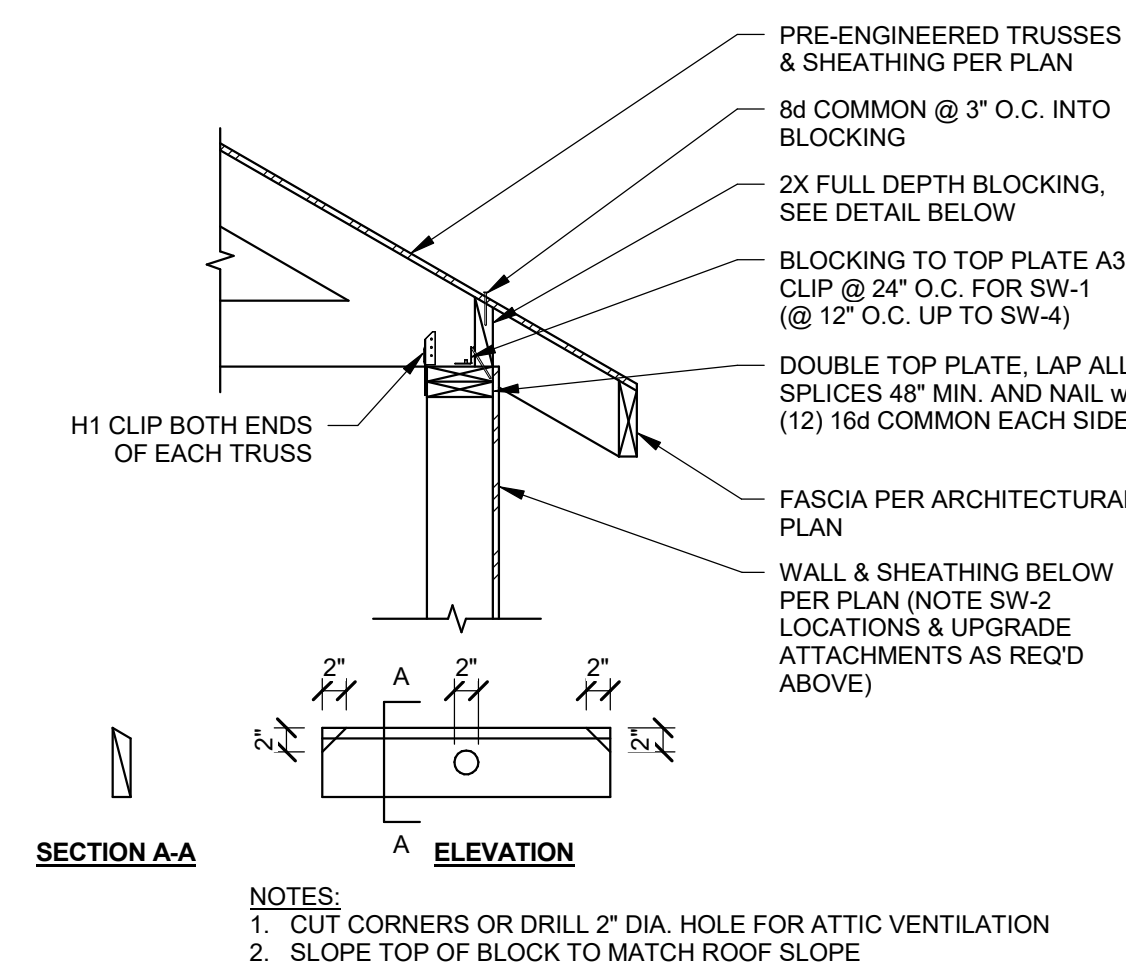
11 HIP BEAM HANGER
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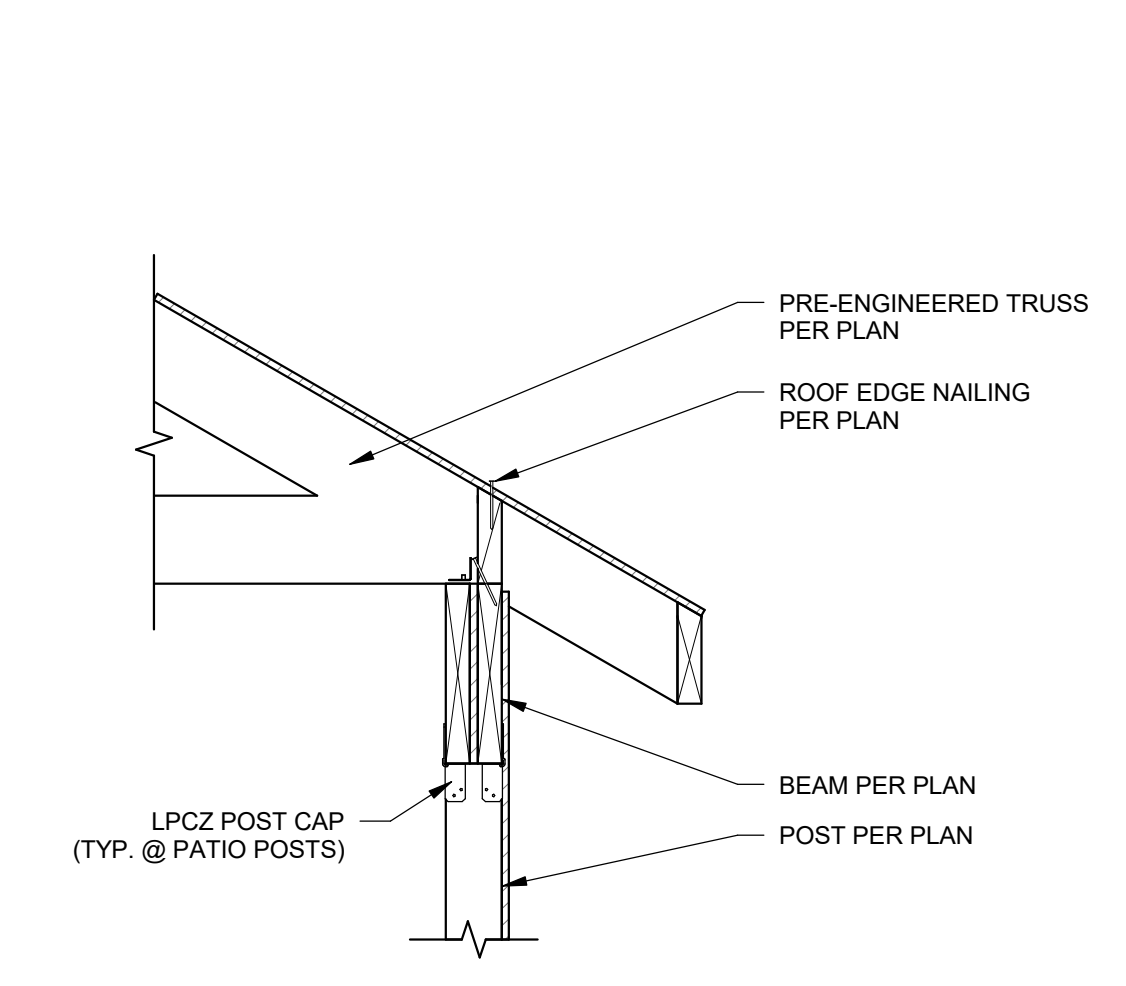
12 BEAM TO STEEL COLUMN CONNECTION
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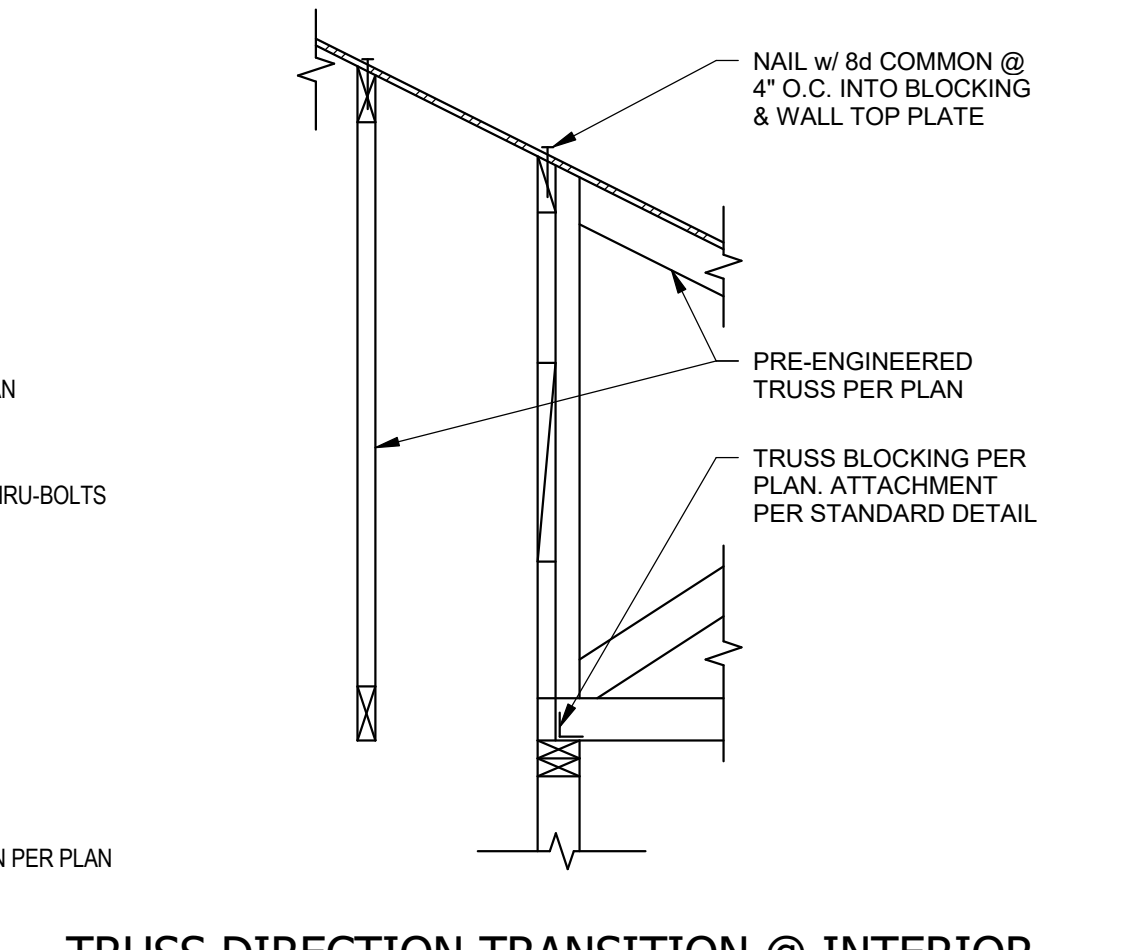
5 FULL DEPTH TRUSS BLOCKING STD DETAIL
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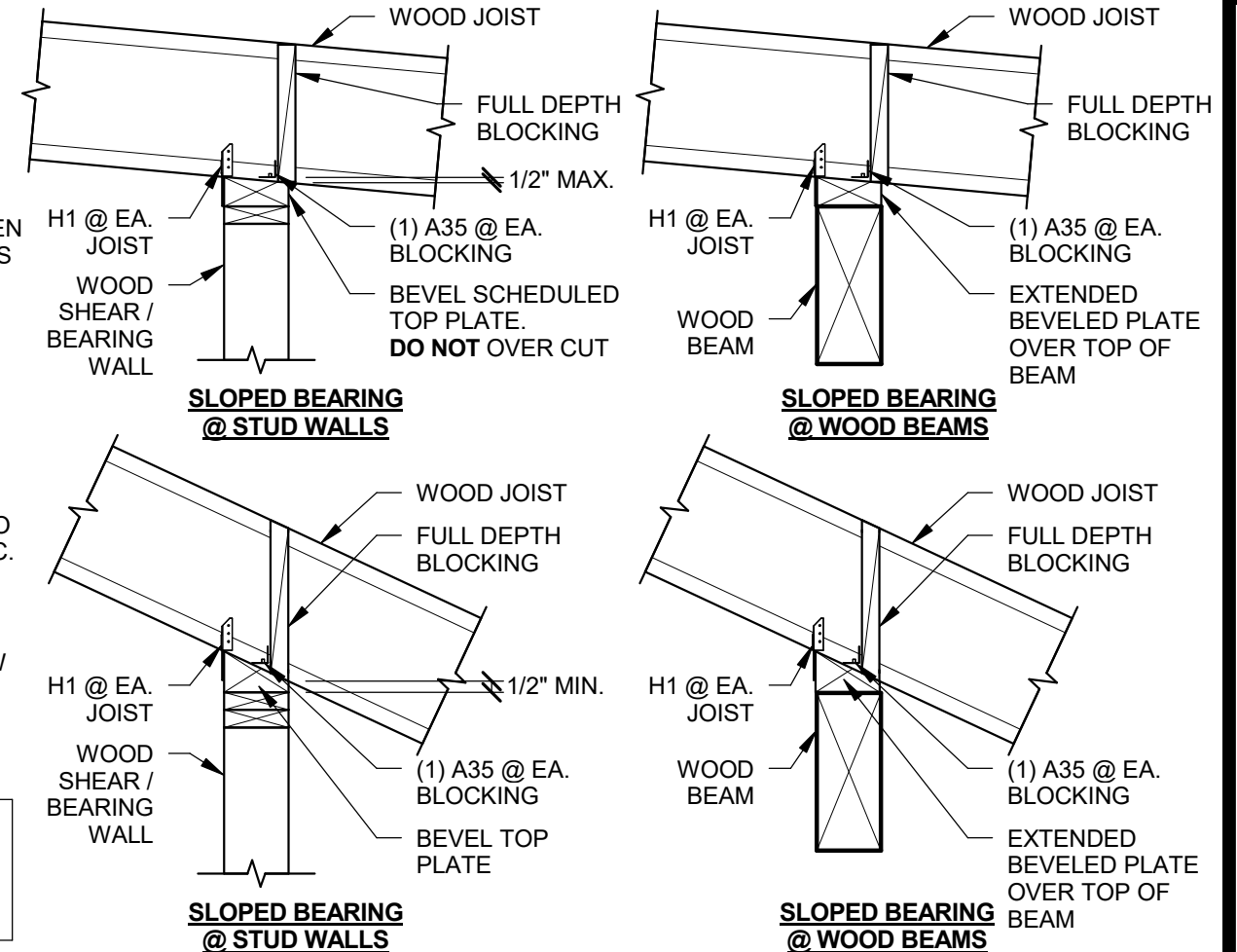
6 TRUSS BEARING DETAIL
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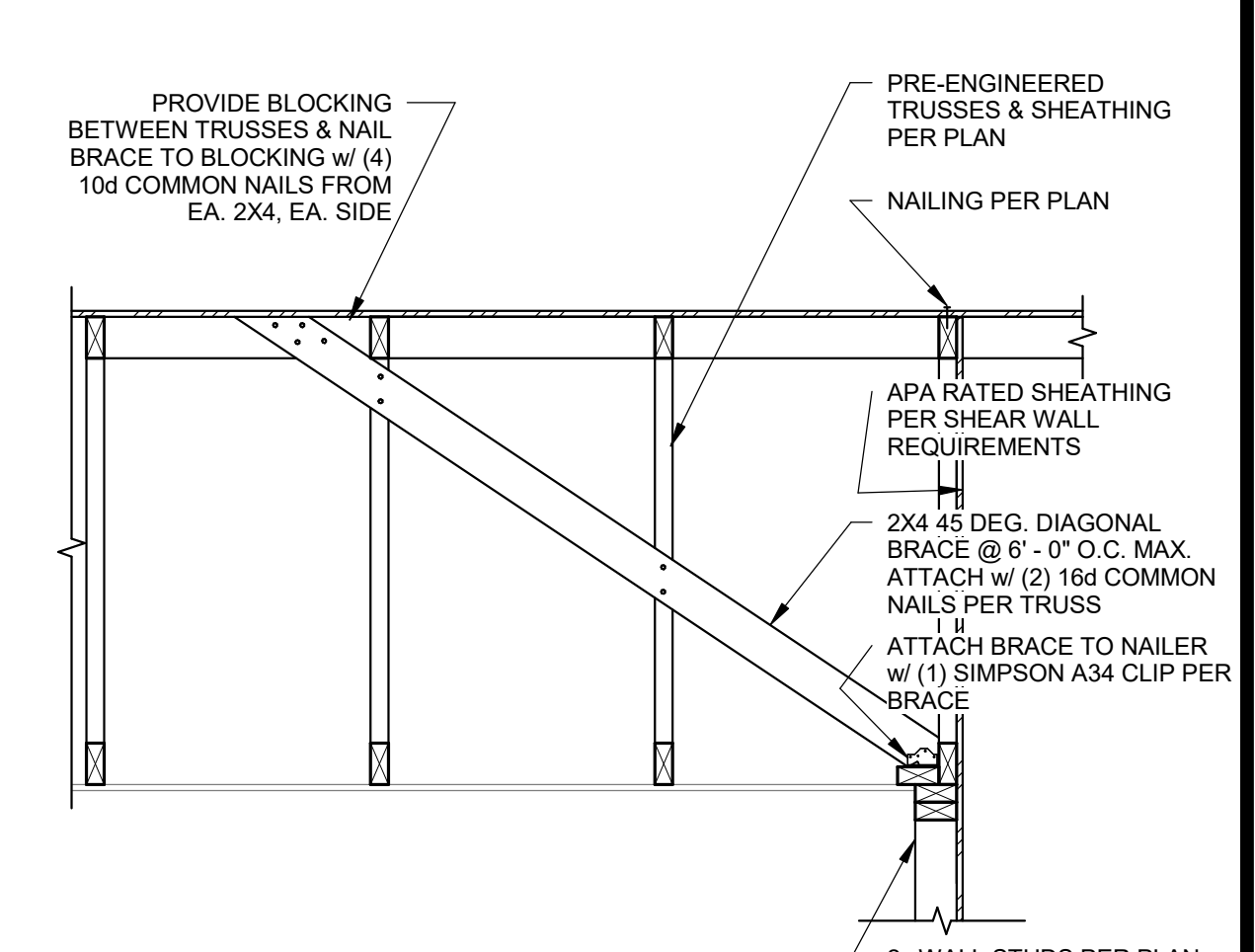
7 TRUSS BEARING @ PATIO/DECK BEAM
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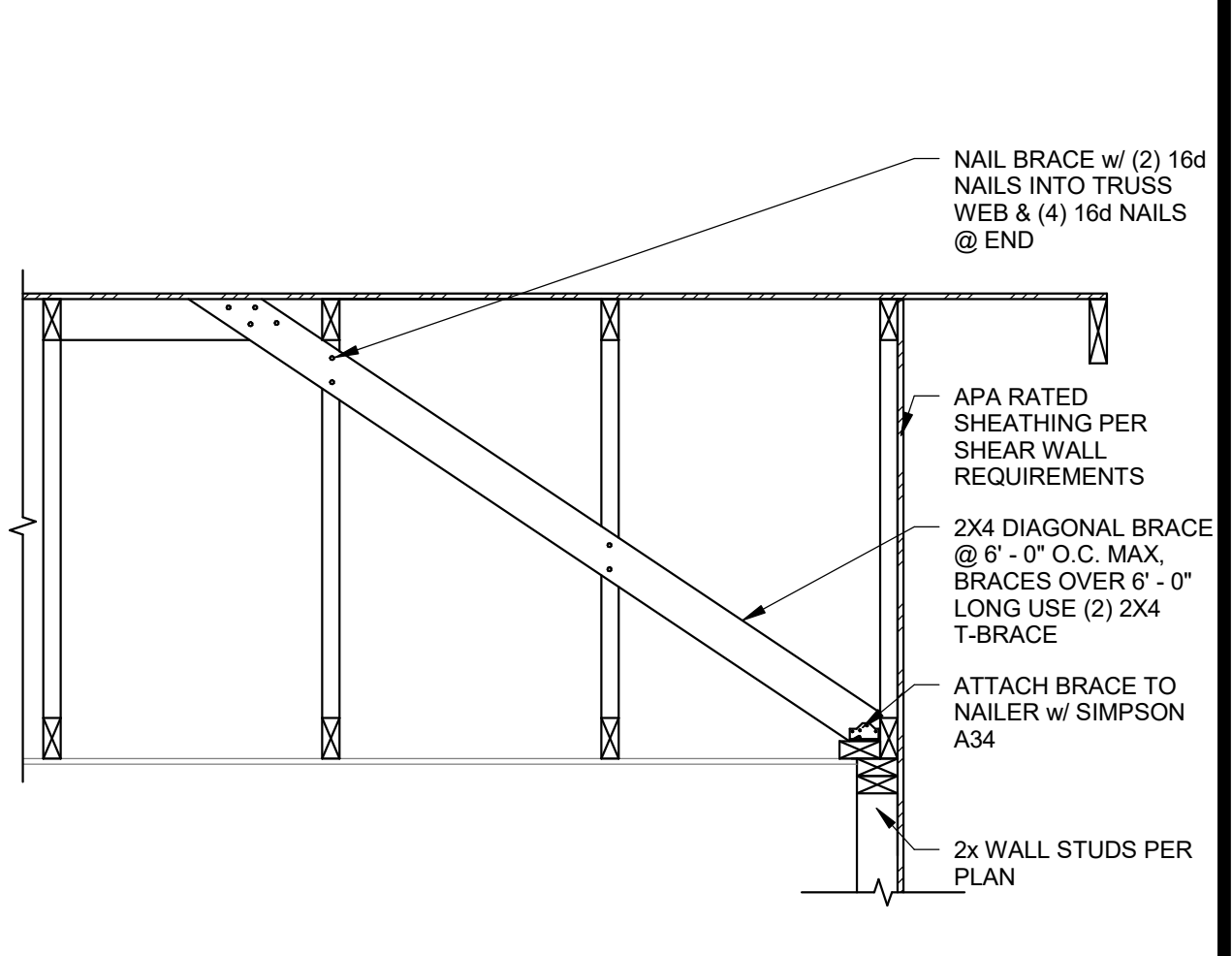
8 TRUSS DIRECTION TRANSITION @ INTERIOR BEARING WALL
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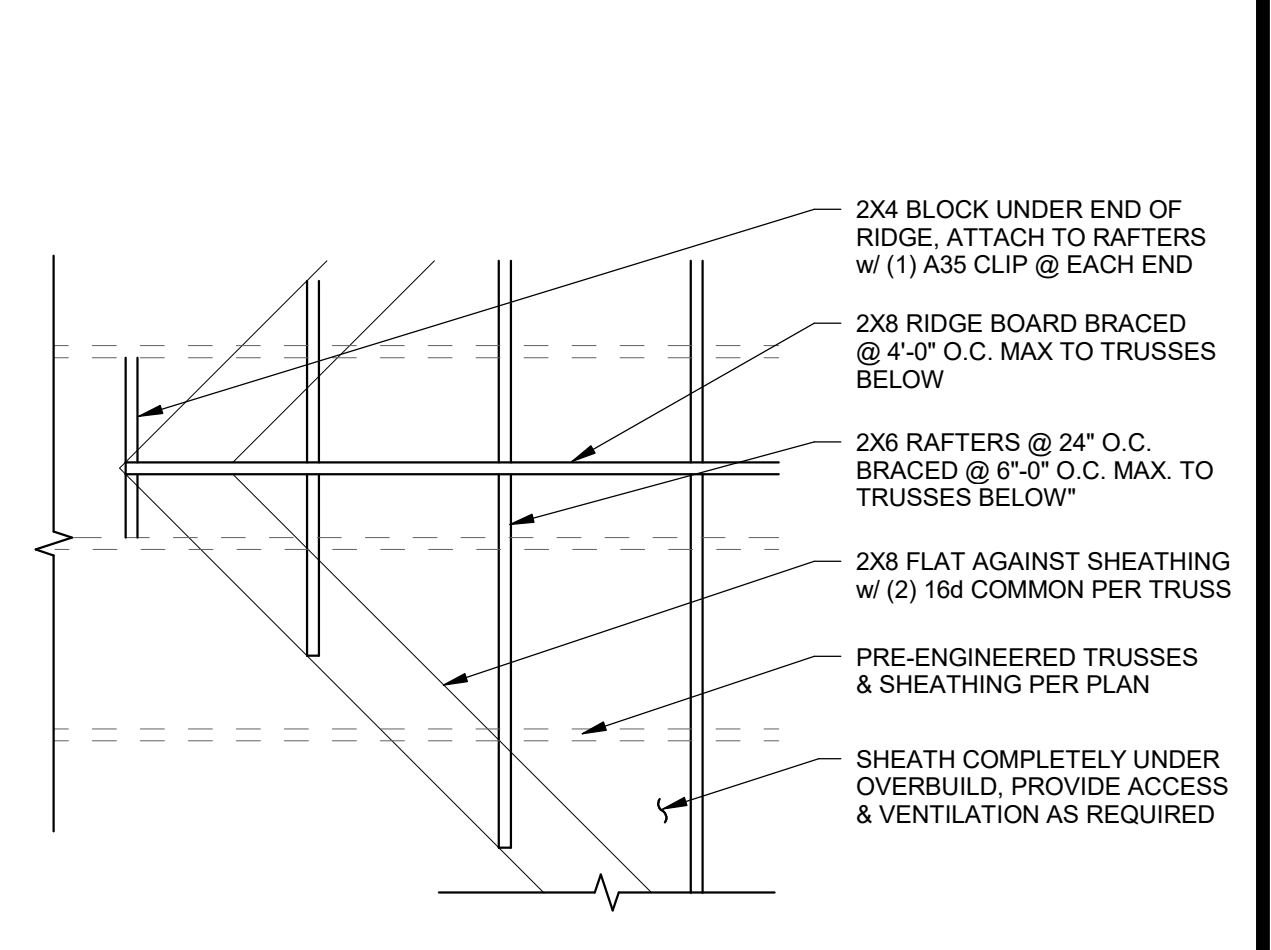
1 SLOPED JOIST BEARING DETAILS
SCALE: N.T.S.



2 BEARING/SHEAR WALL BRACING DETAIL
SCALE: N.T.S.



3 GABLE END TRUSS BRACING
SCALE: N.T.S.



4 OVERBUILD DETAIL
SCALE: N.T.S.

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Owner

**TENDER CARE HOSPICE
ASSISTED LIVING FACILITY**

**5TH NORTH AND 1ST EAST STREET
PRICE CITY, UTAH**

PROFESSIONAL STRUCTURAL ENGINEER
No. 175238
DAVID B. ALTER
STATE OF UTAH
4/25/16

PERMIT 03/08/16
NO. DATE REVISION

ROOF FRAMING DETAILS

PROJECT NUMBER
6803

DATE
12-31-15

DRAWN BY
R. MALIGON

PROJECT ENGINEER
A. HAWKINS

PROJECT MANAGER
C. DUNCAN

\$6.0

ACKNOWLEDGEMENT AGREEMENT FOR CONDITIONS OF LAND USE AS REQUIRED BY THE PRICE CITY PLANNING AND ZONING DEPARTMENT AND AS AGREED TO BY THE LAND USE APPLICANT FOR DEVELOPMENT OF AN ASSISTED LIVING FACILITY AT 75 EAST 500 NORTH WITHIN THE PUBLIC FACILITIES (PF) ZONING DISTRICT.

Purpose: the purpose of this agreement is to establish the terms and conditions of an agreement between Price City and RICHARD NUFFER, regarding the conditions of land use associated with Price City Land Use Management and Development Code (Code) as it is associated with BEEHIVE HOMES, RICHARD NUFFER.

Parties: this agreement is made by and between Price City (City), 185 East Main Street, Price, Utah 84501 and RICHARD NUFFER, (Applicant), for the property located at 75 EAST 500 NORTH.

Term: the term of this agreement commences on May 23rd, 2016 and will perpetually run with the land unless terminated based on a change of use or other performance or compliance factors as outlined in the Price City Land Use Management and Development Code (Code). This contract is further subject to compliance with all Code requirements and other state, federal or local permitting.

The parties identified above hereby agree to the following:

Applicant Shall:

- Development of location to be consistent with the final site plan submitted to Price City and with all direction received from Price City professional staff as it relates to development and the site elements indicated below finding that agreed upon site development mitigates the potential for misunderstandings in the development process.
 - All on site exterior lighting to be high efficiency LED fixtures. All exterior lighting to be angled away from neighboring residential land uses and/or placed on timers and/or shielded from light transference to neighboring properties.
 - Perimeter resident safety fence to be as indicted in location and design style. Specific approval for the six foot (6') height authorized finding that resident safety is improved and vehicle and pedestrian traffic is not negatively impacted by the fence. Fence must remain non-sight obscuring within a forty-foot (40') safety triangle at the intersection at all times.
 - Utility connections to the site as indicated and as directed by the Price City Water, Sewer and Electric Departments in terms of size and location.
 - Monument sign installed as indicated on site plan authorized. No other signage authorized without review and approval by the Price City Planning Department.
 - Right turn only upon exit from off street parking with signage.
 - Garbage dumpster to be located and identified on final site plan in screened enclosure with gates.
 - Landscaping installed as indicated on site plans meeting the minimum five percent (5%) requirement. All landscaping to be water wise.
 - Installation of all required public infrastructure including, but not limited to, curb, gutter, sidewalk, street lighting, electrical transformers, street signage, street striping, public fire hydrants in accordance with submitted and accepted plans and as directed by the Price City Public Works Department.
 - Completion of a public infrastructure development agreement, if and as required, with the Price City Public Works Department and submission of a financial surety guaranteeing the installation of public infrastructure.
 - Completion of a private utility agreement, if and as required, with the Price City Public Works Department, regarding the installation of internal water systems and connection to the public water system.
- Development consistent with storm water management and geotechnical studies and information submitted to Price City and any direction from the Price City Engineer finding that development consistent with approved plans mitigates development confusion and ensures quality development consistent with the Price City General Plan.
- Submission of building plans to the Price City building department for review and approval finding that properly submitted, reviewed and approved and inspected building construction protects the health, safety and welfare of the community.
 - All construction to be completed under the auspices of a Price City building permit.
- Application and receipt of Price City business license prior to opening and operation at site.
- Site plan final approval authorized for "Phase 2" of the project including: (1) Option 1: second building; or (2) Option 2: up to nine (9) individual residential cottages.
 - Utility connection plan approval and building plan approval and issuance of building permit by Price City for Phase 2 subject to additional review and approval.
 - Additional site plan elements required, including but not limited to, additional fencing, retaining walls, storm water management, off street parking, installation of additional public infrastructure, submission of additional or extended public infrastructure development agreement and surety
- No conditions at the property or structures, including hillside locations, that violate the Price City Property Maintenance Code finding that properly maintained property and structures mitigate deterioration of community property values and is consistent with the Price City General Plan.

Price City Shall:

- Authorize the land use contemplated herein and under the terms and conditions set forth as indicated in the Code.

SIGNED THIS ____ DAY OF _____, 20____.

Price City

Applicant:

By Robert Oliver, Chair

Richard Nuffer

ATTEST:

Sherrie Gordon, City Recorder

CONDITIONAL USE PERMIT AMENDMENT

THIS PERMIT IS HEREBY APPROVED FOR:

**A LAND USE OF: AN ASSISTED LIVING
FACILITY LOCATED AT 75 EAST 500
NORTH, WITHIN THE PUBLIC FACILITIES
(PF) ZONING DISTRICT**

CONSISTENT WITH THE TERMS, CONDITIONS AND REQUIREMENTS SET FORTH
BY THE PRICE CITY PLANNING AND ZONING COMMISSION, THE PRICE CITY
COUNCIL AND THE PRICE CITY LAND USE MANAGEMENT AND DEVELOPMENT
CODE.



SIGNATURE _____


DATE _____

Mayor
JOE L. PICCOLO
City Attorney
NICK SAMPINOS
Community Director
NICK TATTON
City Recorder
SHERRIE GORDON
Public Works Director
MILES NELSON



DATE: MAY 11TH, 2016

TO: PRICE CITY PLANNING & ZONING COMMISSION

FROM: NICK TATTON
PRICE CITY 

RE: SITE PLAN AMENDMENT

Please find attached a Conditional Use Permit (CUP) application submitted by Jim Patel, Ramada General Manager, for a site plan amendment to accommodate a physical facility expansion of the bar/lounge area of the hotel located at 838 Westwood Blvd. within the Commercial 1 (C-1) zoning district. The subject of the site plan amendment is the bar, a conditional use, based on Section 11.3.4.11 Drinking Places-Alcoholic Beverages, of the Price City Land Use Management and Development Code (Code). The general evaluation criteria for the land use and site plan amendment is listed in Section 11.1 of the Code and the specific land use evaluation criteria and land use checklist is in Section 11.1.m of the Code.

It is the recommendation of staff to discuss the expansion with the applicant and provide a recommendation of final approval to the Price City Council for the site plan amendment.

RECOMMENDED MOTION(S):

1. Move to recommend that the Price City Council provide final site plan amendment approval for an expansion of the bar/lounge at the Ramada Hotel located at 838 Westwood Blvd., within the Commercial 1 (C-1) zoning district, based on the conditional land use in Section 11.3.4.11 Drinking Places-Alcoholic Beverages, of the Price City Land Use Management and Development Code (Code), the general evaluation criteria for the land use and site plan amendment is listed in Section 11.1 of the Code and the specific land use evaluation criteria and land use checklist is in Section 11.1.m of the Code, and subject to the following conditions of approval:
 - a. No other renovations or site plan amendments herein approved, only the expansion of the bar/lounge as indicated on the submitted amended site plan finding that restricted site plan approvals mitigate the potential for future misunderstandings.
 - b. All renovations to be completed under the auspices of a Price City Building Permit and building inspection finding that properly planned, reviewed, permitted and inspected commercial building renovations protect the health, safety and welfare of the community.

- c. No installation or replacement of business signage without prior approval by the Price City Planning Department finding that properly reviewed and approved business signage promotes consistency in community signage and increases commercial activity in the community consistent with the Price City General Plan.
 - d. Compliance with the Utah Indoor Clean Air Act (Air Act) and signage installed to indicate smoking areas surrounding building ingress/egress finding that compliance with the Air Act protects the health, safety and welfare of the community.
 - e. No removal or restriction to existing off-street parking spaces finding that off street parking requirements may increase by as much as five (5) spaces minimum based on building square footage of expansion.
 - f. No conditions at the property or structures that violate the Price City Property Maintenance Code finding that properly maintained properties and structures mitigate negative impacts to area property values and is consistent with the Price City General Plan.
2. Move to acknowledge that the applicant, applicants agents and representatives, are aware of the conditions of approval, understand the conditions of approval and intend to comply with the conditions of approval.

Fee: \$150



CONDITIONAL USE PERMIT APPLICATION

Send all completed and properly signed forms (including attachments as necessary) along with applicable fees to: Price City Community Development Department, P.O. Box 893, 185 East Main, Price, UT 84501. For questions call (435) 636-3184.

Please check one.

- ☐ **New Business** (Complete boxes 1 through 13 on page 1, and all subsequent pages)
☒ **New Construction/Development** (Check all applicable boxes below and complete entire application)

Plan Phase:

- ☐ Concept
☐ Preliminary
☒ Final SITE PLAN AMENDMENT

PLEASE TYPE OR PRINT LEGIBLY.

Applicant Information			
1. Applicant's Name: <u>JIM PATEL</u>		2. Title: <u>GENERAL MANAGER</u>	
3. Applicant's Mailing Address: <u>838 WESTWOOD BLVD</u>		4. Suite/Apt. No.:	
5. City: <u>PRICE</u>	6. State: <u>UTAH</u>	7. Zip Code: <u>84501</u>	
8. County: <u>CARBON</u>		9. Telephone: (435) <u>637-8880</u>	
Project Information			
10. Name of Project (Business): <u>RAMADA PRICE</u>			
11. Address of Proposed Project:			
12. Zone District (see attached zoning map): <u>C1</u>			
Nature of Proposed Work (Check all applicable items in boxes 13 through 16)			
13. <input type="checkbox"/> Sign <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential	14. <input type="checkbox"/> Zone Change <input type="checkbox"/> Storm Drainage <input type="checkbox"/> Street Work <input type="checkbox"/> Road Dedication <input type="checkbox"/> Water <input type="checkbox"/> Sewer	15. <input checked="" type="checkbox"/> Excavation <input type="checkbox"/> Fill Work <input checked="" type="checkbox"/> Building <input type="checkbox"/> Subdivision <input type="checkbox"/> Apartments <input checked="" type="checkbox"/> Electrical	16. <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Annexation <input type="checkbox"/> Flood Plain <input type="checkbox"/> Recreation <input type="checkbox"/> Street Opening <input type="checkbox"/> Demolition
17. Quarter Section(s):	18. Section(s):	19. Township(s):	20. Range(s) & Base:
21. Estimated Cost of Project: a) Site Work \$ _____ b) Buildings \$ _____ c) Other \$ _____ Total \$ _____ <u>NOT KNOWN</u>		22. Electrical Load Sheet: (Attach preliminary and final to application) <u>TO BE DETERMINED</u>	
23. Project Plans: <input checked="" type="checkbox"/> Plans Included <input type="checkbox"/> Attachments (Number) _____			

24. Brief Description of Project:

EXTEND EXISTING LOUNGE APPROXIMATELY 25' SOUTH.

25. Justification (Explain why this project is needed):

ADDITIONAL AREA IS NEEDED TO ACCOMMODATE
INCREASING LOUNGE ACTIVITY.

26. Names and Addresses of Adjoining Property Owners, Lessees, Etc.:

NAME	ADDRESS (City, ST, Zip)	TELEPHONE
1. HOLIDAY INN EXPRESS	925 WESTWOOD BLVD. PRICE, UTAH	(435) 637-7700
2. SUPER 8 MOTEL	180 HOSPITAL DR. PRICE, UTAH	(435) 637-8088
3.		()

27. Estimated Starting Date:

6 / 15 / 2016

28. Estimated Completion Date:

9 / 15 / 2016

29. Has P.R.W.I.D. Sewer Survey
Been Submitted? ☐ Yes ☒ No

Signature of Property Owner

Date

JIM PATEL

GENERAL MANAGER

Please Print Name

Title

Office Use Only

Recommendation of Planning and Zoning Administrator (Community Director):

☒ Approve

☐ Decline

Comments:

① Needs P&Z & CC Approval

② Needs site plan complete

Signature:

Date:

[Signature]

5-11-16

Requires:

☒ Building Permit

☐ Conditional Use Permit

☐ Code Amendment

☐ Board of Adjustments Variance

☐ Flood Plain Development Permit

☒ Other: CUP Site plan amendment

SITE PLAN

Please provide a drawing of your proposed site in the space below. Include building floor plan, profiles, cross-sections, dimensions, setbacks, and signs. Also indicate exits, restrooms, and fire extinguisher placement. Use an attached sheet of paper, if necessary.

SEE ATTACHED SITE PLAN

EIS ENVIRONMENTAL & ENGINEERING CONSULTING

435-472-3814 / 800-641-2927 / FAX 435-472-8780 / tompaluso@preciscom.net / 31 NORTH MAIN STREET HELPER, UTAH 84526

MEMO

MEMO TO: Trenton Bennett-Price City Inspector

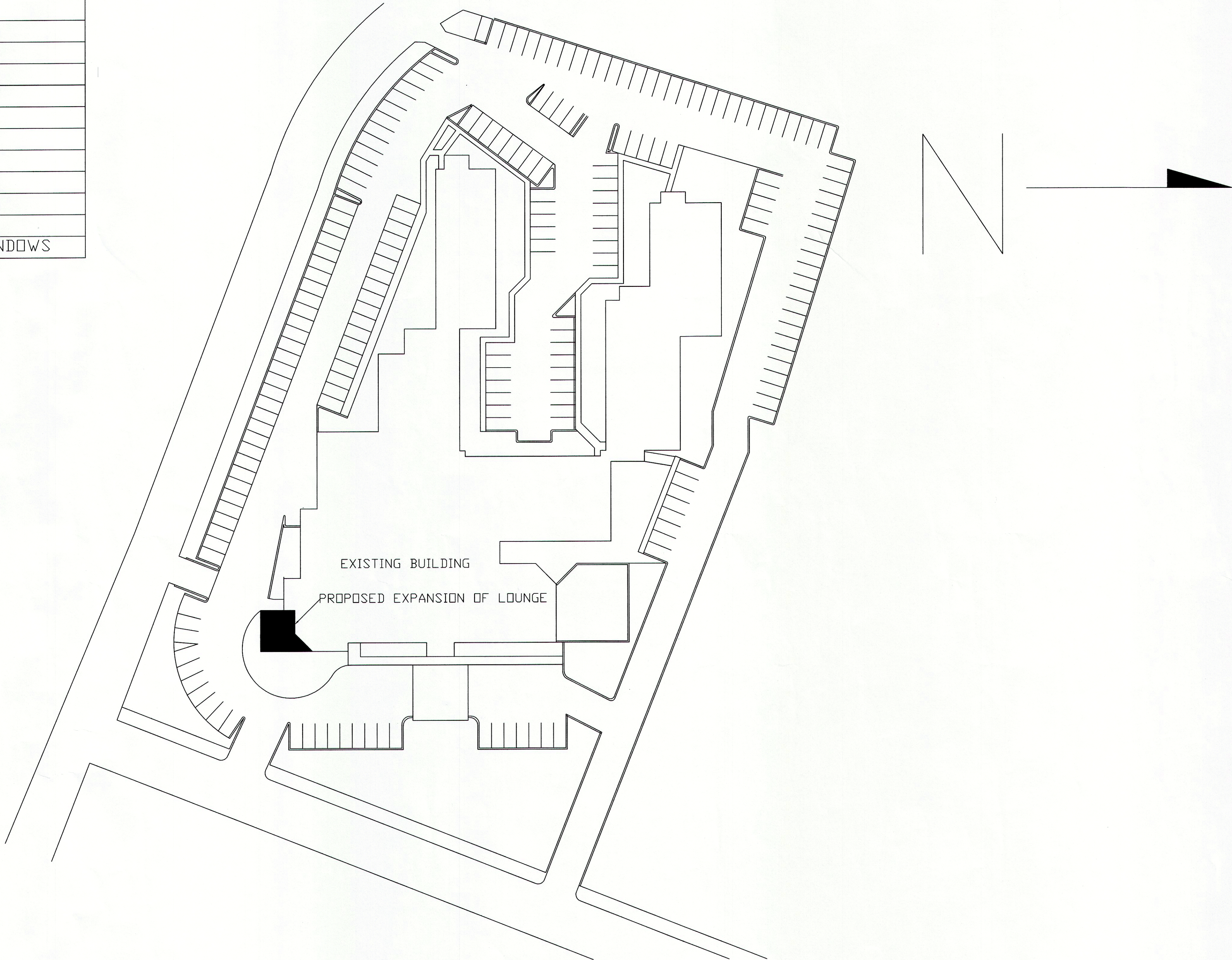
MEMO FROM: J. T. 'Tom' Paluso, P. E. 

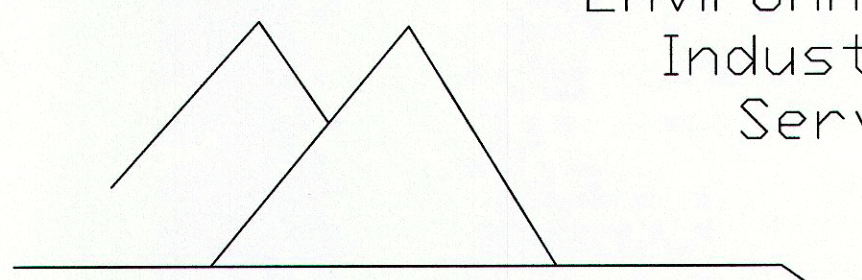
DATE: May 11, 2016

SUBJECT: Ramada Lounge Expansion

Attached are three copies of the Ramada Lounge Expansion drawings as per your conversation with Gary Taylor. If you have any questions Gary can be reached at 650-6396. The Conditional Use Application for this project has been submitted to Nick Tatton.

DRAWING SCHEDULE	
DRAWING NO.	TITLE
1	SITE PLAN
2	GENERAL NOTES
3	FOUNDATION
4	WALL LAYOUTS
5	WALL LAYOUTS 2
6	WALLS
7	ROOF TRUSSES
8	TRUSS SUPPORTS
9	SUPPORTS
10	MANAGER'S BEDROOM WINDOWS



<div>  <div> <div>Environmental Industrial Services</div> <div> Environmental & Engineer Consulting 31 NORTH MAIN HELPER, UTAH 84526 (435) 472-3814 </div> </div> </div>	NO.	REVISION	DATE:	BY:	RAMADE INN PRICE, UTAH 84501	
					DRAWN BY: GT 13 APRIL 2016	
					CHECK BY: JTP	
					ENGINEERED BY: GT	
					SIZE:	DWG NO.: 1
					SCALE:	SHEET: 1 OF 10
					SITE PLAN	

ACKNOWLEDGEMENT AGREEMENT FOR CONDITIONS OF LAND USE AS REQUIRED BY THE PRICE CITY PLANNING AND ZONING DEPARTMENT AND AS AGREED TO BY THE LAND USE APPLICANT FOR AMENDMENT OF THE SITE PLAN FOR THE RAMADA HOTEL LOCATED AT 838 WESTWOOD BLVD. WITHIN THE COMMERCIAL 1 (C-1) ZONING DISTRICT.

Purpose: the purpose of this agreement is to establish the terms and conditions of an agreement between Price City and **JIM PATEL**, regarding the conditions of land use associated with Price City Land Use Management and Development Code (Code) as it is associated with **RAMADA HOTEL, JIM PATEL**.

Parties: this agreement is made by and between Price City (City), 185 East Main Street, Price, Utah 84501 and **JIM PATEL**, (Applicant), for the property located at **838 WESTWOOD BLVD**.

Term: the term of this agreement commences on **May 23rd, 2016** and will perpetually run with the land unless terminated based on a change of use or other performance or compliance factors as outlined in the Price City Land Use Management and Development Code (Code). This contract is further subject to compliance with all Code requirements and other state, federal or local permitting.

The parties identified above hereby agree to the following:

Applicant Shall:

- Verify that no other renovations or site plan amendments are herein approved, only the expansion of the bar/lounge as indicated on the submitted amended site plan finding that restricted site plan approvals mitigate the potential for future misunderstandings.
- Acknowledge that all renovations will be completed under the auspices of a Price City Building Permit and building inspection finding that properly planned, reviewed, permitted and inspected commercial building renovations protect the health, safety and welfare of the community.
- Verify that no installation or replacement of business signage without prior approval by the Price City Planning Department finding that properly reviewed and approved business signage promotes consistency in community signage and increases commercial activity in the community consistent with the Price City General Plan.
- Ensure compliance with the Utah Indoor Clean Air Act (Air Act) and signage installed to indicate smoking areas surrounding building ingress/egress finding that compliance with the Air Act protects the health, safety and welfare of the community.
- Verify that no removal or restriction to existing off-street parking spaces finding that off street parking requirements may increase by as much as five (5) spaces minimum based on building square footage of expansion.
- Ensure that no conditions at the property or structures that violate the Price City Property Maintenance Code finding that properly maintained properties and structures mitigate negative impacts to area property values and is consistent with the Price City General Plan.

Price City Shall:

- Authorize the land use contemplated herein and under the terms and conditions set forth as indicated in the Code.

SIGNED THIS ____ DAY OF _____, 20____.

Price City

Applicant:

By Robert Oliver, Chair

JIM PATEL

ATTEST:

Sherrie Gordon, City Recorder

CONDITIONAL USE PERMIT AMENDMENT

THIS PERMIT IS HEREBY APPROVED FOR:

**A LAND USE OF: A SITE PLAN AMENDMENT
TO EXPAND THE BAR/LOUNGE LOCATED AT
838 WESTWOOD BLVD. WITHIN THE
COMMERCIAL 1 (C-1) ZONING DISTRICT**

CONSISTENT WITH THE TERMS, CONDITIONS AND REQUIREMENTS SET FORTH
BY THE PRICE CITY PLANNING AND ZONING COMMISSION, THE PRICE CITY
COUNCIL AND THE PRICE CITY LAND USE MANAGEMENT AND DEVELOPMENT
CODE.



SIGNATURE _____

DATE _____

Mayor
JOE L. PICCOLO
City Attorney
NICK SAMPINOS
Community Director
NICK TATTON
City Recorder
SHERRIE GORDON
Public Works Director
MILES NELSON




185 EAST MAIN • P.O. BOX 893 • PRICE, UT 84501
PHONE (435) 637-5010 • FAX (435) 637-2905
www.pricecityutah.com

Price City Planning & Zoning Commission

Planning & Zoning Commissioners
ROBERT OLIVER, CHAIR
FRANKIE SACCO, VICE CHAIR
JUDY BEACCO
DALE EVANS
NANCY BENTLEY
RICHARD ROOT
JAN YOUNG
ALTERNATE: ERROLL HOLT

DATE: MAY 12TH, 2016

TO: PRICE CITY PLANNING & ZONING COMMISSION

FROM: NICK TATTON
PRICE CITY 

RE: CONDITIONAL USE PERMIT – PERSONAL STORAGE

Please find attached a Conditional Use Permit (CUP) application submitted by TH Ploloni for a personal storage land use located at 30 South 100 West. within the Commercial 1 (C-1) zoning district. The application indicates personal storage only, not any customer oriented storage as well as potential future professional office space. The personal storage within the building is a conditional use, just as a commercial storage operation would be, and is indicated, generally, in Section 11.3.9.11 of the Price City Land Use Management and Development Code (Code), Section 11.3.9.11.11, Warehousing, a conditional use, also applies in terms of land use. The general evaluation criteria for the land use is listed in Section 11.1 of the Code and the specific land use evaluation criteria and land use checklist is in Section 11.1.m of the Code.

It is the recommendation of staff to discuss the land use, specifically proposed restrictions indicated with the applicant, and provide a recommendation of final approval to the Price City Council for the site plan amendment.

RECOMMENDED MOTION(S):

1. Move to recommend that the Price City Council provide final approval for the personal storage land use only and the potential professional office space land use located at 30 South 100 West within the Commercial 1 (C-1) zoning district, based on the conditional land uses in Section(s) 11.3.9.11 of the Price City Land Use Management and Development Code (Code) and Section 11.3.9.11.11, Warehousing, the general evaluation criteria for the land uses listed in Section 11.1 of the Code and the specific land use evaluation criteria and land use checklist is in Section 11.1.m of the Code, and subject to the following conditions of approval:
 - a. Personal Storage:
 - i. Occupancy and use restricted until completion of a building review by a credentialed structural engineer and renovations are completed in accordance with direction from the structural engineer finding that ensuring structural integrity of occupied structures protects the health safety and welfare of the community.

- ii. All renovations completed under the auspices of a Price City Building Permit and inspection finding that properly permitted and inspected renovations protect the health, safety and welfare of the community.
 - 1. Compliance with all direction/requirements from the Price City Building Inspector and Price City Fire Chief regarding building renovation and safety.
 - iii. No commercial or paid storage to be located in building; personal storage items only; no access by persons other than applicant; finding that restricted use and access protects the health, safety and welfare of the community.
 - iv. Public infrastructure (curb-gutter-sidewalk) at building frontage repaired or replaces as directed by the Price City Engineer and Price City Building Inspector, meeting Price City minimum standards, finding that deteriorated public infrastructure may be a safety hazard.
 - v. No storage of any items exterior to the building finding that only interior personal storage is herein authorized.
 - b. Professional Office Space:
 - i. Professional office space use and occupancy restricted until such time as renovation plans for any office space are approved and a Price City Building Permit with inspection is issued finding that restricted use and access protects the health, safety and welfare of the community. Includes both personal use and leased or paid use/occupancy.
 - c. No signage installed on building without review and approval by the Price City Planning Department finding that properly reviewed and permitted signage mitigates the potential for confusion and increases commercial activity in the community.
 - i. All existing signage and markings to be removed.
 - d. Maintain building in a secure manner at all times finding that secured structures and properties that are not occupied mitigate the potential for theft and unnecessary use of the public safety resources in the community.
 - e. No conditions at the property or structures that violate the Price City Property Maintenance Code finding that properly maintained properties and structures mitigate negative impacts to area property values and is consistent with the Price City General Plan.
 - i. Mitigation and removal of all weeds from the property.
 - ii. Replacement of boarded windows and doors with operating windows and doors.
 - iii. Exterior treatment applied (painting, etc.)
- 2. Move to acknowledge that the applicant, applicants agents and representatives, are aware of the conditions of approval, understand the conditions of approval and intend to comply with the conditions of approval.

Fee: \$100.00



CONDITIONAL USE PERMIT APPLICATION

Send all completed and properly signed forms (including attachments as necessary) along with applicable fees to: Price City Community Development Department, P.O. Box 893, 185 East Main, Price, UT 84501. For questions call (435) 636-3184.

Please check one.

- ☐ **New Business** (Complete boxes 1 through 13 on page 1, and all subsequent pages)
☐ **New Construction/Development** (Check all applicable boxes below and complete entire application)

Plan Phase:

- ☐ Concept
☐ Preliminary
☐ Final

PLEASE TYPE OR PRINT LEGIBLY.

Applicant Information			
1. Applicant's Name: <u>T.H. Poloni DBA Casa Bella Enterprises, Inc.</u>		2. Title: <u>President/owner</u>	
3. Applicant's Mailing Address: <u>765 East 2900 South</u>		4. Suite/Apt. No.:	
5. City: <u>Price</u>	6. State: <u>Ut</u>	7. Zip Code: <u>84501</u>	
8. County: <u>Carbon</u>		9. Telephone: <u>(435) 650-9532</u>	
Project Information			
10. Name of Project (Business): <u>Storage Building and Spaces for Bookwork</u> <u>- Personal storage -</u>			
11. Address of Proposed Project: <u>30 South 100 West - Price, Ut 84501</u>			
12. Zone District (see attached zoning map): <u>Tax Parcel # 01-0258-0000</u>			
Nature of Proposed Work (Check all applicable items in boxes 13 through 16)			
13. <input type="checkbox"/> Sign <input type="checkbox"/> Commercial <input type="checkbox"/> Residential	14. <input type="checkbox"/> Zone Change <input type="checkbox"/> Storm Drainage <input type="checkbox"/> Street Work <input type="checkbox"/> Road Dedication <input type="checkbox"/> Water <input type="checkbox"/> Sewer	15. <input type="checkbox"/> Excavation <input type="checkbox"/> Fill Work <input checked="" type="checkbox"/> Building <input type="checkbox"/> Subdivision <input type="checkbox"/> Apartments <input type="checkbox"/> Electrical	16. <input type="checkbox"/> Industrial <input type="checkbox"/> Annexation <input type="checkbox"/> Flood Plain <input type="checkbox"/> Recreation <input type="checkbox"/> Street Opening <input checked="" type="checkbox"/> Demolition
17. Quarter Section(s):	18. Section(s):	19. Township(s):	20. Range(s) & Base:
21. Estimated Cost of Project: a) Site Work \$ b) Buildings \$ <u>5000.00</u> c) Other \$ Total \$		22. Electrical Load Sheet: (Attach preliminary and final to application)	
		23. Project Plans: <input type="checkbox"/> Plans Included <input type="checkbox"/> Attachments (Number) _____	

24. Brief Description of Project:

Reinforce floor

25. Justification (Explain why this project is needed):

Floor parts/partial are damaged from roof leaking
Before roof was replaced
Building to be used for personal storage only.

26. Names and Addresses of Adjoining Property Owners, Lessees, Etc.:

NAME	ADDRESS (City, ST, Zip)	TELEPHONE
1. (Home) Kerry Krompel	3520 E. Old Wellington Rd Wellington, UT	(435) 650-7193
2.		()
3.		()

27. Estimated Starting Date:

06 / 01 / 2016

28. Estimated Completion Date:

08 / 01 / 2016

no water or sewer
29. Has P.R.W.I.D. Sewer Survey
Been Submitted? ☐ Yes ☒ No

n/a

Signature of Property Owner

T.H. Poloni dba: Casa Bella Enterprises, Inc.

Please Print Name

Date

May 10, 2016

President/owner

Title

Office Use Only

Recommendation of Planning and Zoning Administrator (Community Director):

☐ Approve

☐ Decline

Comments:

Signature: _____

Date: _____

Requires:

☐ Building Permit

☐ Conditional Use Permit

☐ Code Amendment

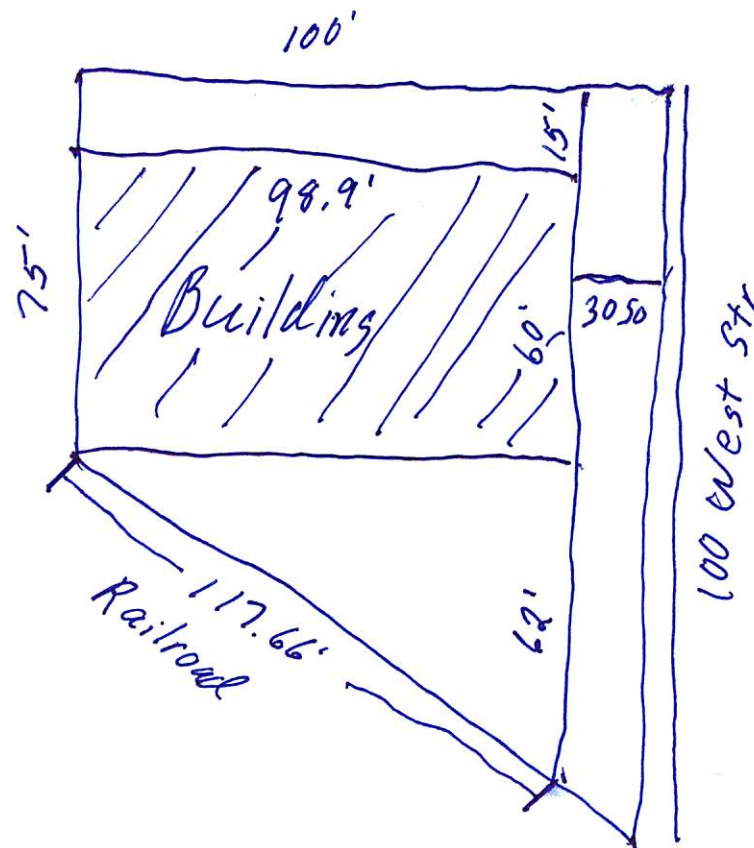
☐ Board of Adjustments Variance

☐ Flood Plain Development Permit

☐ Other: _____

SITE PLAN

Please provide a drawing of your proposed site in the space below. Include building floor plan, profiles, cross-sections, dimensions, setbacks, and signs. Also indicate exits, restrooms, and fire extinguisher placement. Use an attached sheet of paper, if necessary.



**ACKNOWLEDGEMENT AGREEMENT FOR CONDITIONS OF LAND USE AS REQUIRED BY THE PRICE CITY
PLANNING AND ZONING COMMISSION AND AS AGREED TO BY THE LAND USE APPLICANT FOR PERSONAL
STORAGE ONLY AND POTENTIAL FUTURE PROFESSIONAL OFFICE SPACE LOCATED AT 30 SOUTH 100 WEST
WITHIN THE COMMERCIAL 1 (C-1) ZONING DISTRICT.**

Purpose: the purpose of this agreement is to establish the terms and conditions of an agreement between Price City and **TH POLONI**, regarding the conditions of land use associated with Price City Land Use Management and Development Code (Code) as it is associated with **PERSONAL STORAGE AND FUTURE PROFESSIONAL OFFICE SPACE, TH POLONI**.

Parties: this agreement is made by and between Price City (City), 185 East Main Street, Price, Utah 84501 and **TH POLONI**, (Applicant), for the property located at **30 SOUTH 100 WEST**.

Term: the term of this agreement commences on **May 23rd, 2016** and will perpetually run with the land unless terminated based on a change of use or other performance or compliance factors as outlined in the Price City Land Use Management and Development Code (Code). This contract is further subject to compliance with all Code requirements and other state, federal or local permitting.

The parties identified above hereby agree to the following:

Applicant Shall:

- Personal Storage:
 - Occupancy and use restricted until completion of a building review by a credentialed structural engineer and renovations are completed in accordance with direction from the structural engineer finding that ensuring structural integrity of occupied structures protects the health safety and welfare of the community.
 - All renovations completed under the auspices of a Price City Building Permit and inspection finding that properly permitted and inspected renovations protect the health, safety and welfare of the community.
 - Compliance with all direction/requirements from the Price City Building Inspector and Price City Fire Chief regarding building renovation and safety.
 - No commercial or paid storage to be located in building; personal storage items only; no access by persons other than applicant; finding that restricted use and access protects the health, safety and welfare of the community.
 - Public infrastructure (curb-gutter-sidewalk) at building frontage repaired or replaces as directed by the Price City Engineer and Price City Building Inspector, meeting Price City minimum standards, finding that deteriorated public infrastructure may be a safety hazard.
 - No storage of any items exterior to the building finding that only interior personal storage is herein authorized.
- Professional Office Space:
 - Professional office space use and occupancy restricted until such time as renovation plans for any office space are approved and a Price City Building Permit with inspection is issued finding that restricted use and access protects the health, safety and welfare of the community. Includes both personal use and leased or paid use/occupancy.
- No signage installed on building without review and approval by the Price City Planning Department finding that properly reviewed and permitted signage mitigates the potential for confusion and increases commercial activity in the community.
- All existing signage and markings to be removed.
- Maintain building in a secure manner at all times finding that secured structures and properties that are not occupied mitigate the potential for theft and unnecessary use of the public safety resources in the community.
- No conditions at the property or structures that violate the Price City Property Maintenance Code finding that properly maintained properties and structures mitigate negative impacts to area property values and is consistent with the Price City General Plan.
- Mitigation and removal of all weeds, debris, rubbish from the property.
- Replacement of boarded windows and doors with operating windows and doors.
- Exterior treatment applied (painting, etc.)

Price City Shall:

- Authorize the land use contemplated herein and under the terms and conditions set forth as indicated in the Code.

SIGNED THIS ____ DAY OF _____, 20____.

Price City

Applicant:

By Robert Oliver, Chair

TH POLONI

ATTEST:

Sherrie Gordon, City Recorder

CONDITIONAL USE PERMIT AMENDMENT

THIS PERMIT IS HEREBY APPROVED FOR:

**A LAND USE OF: PERSONAL STORAGE ONLY
AND POTENTIAL PROFESSIONAL OFFICE SPACE
LOCATED AT 30 SOUTH 100 WEST WITHIN THE
COMMERCIAL 1 (C-1) ZONING DISTRICT**

CONSISTENT WITH THE TERMS, CONDITIONS AND REQUIREMENTS SET FORTH
BY THE PRICE CITY PLANNING AND ZONING COMMISSION, THE PRICE CITY
COUNCIL AND THE PRICE CITY LAND USE MANAGEMENT AND DEVELOPMENT
CODE.



SIGNATURE _____

DATE _____